

Borough Council of
**King's Lynn &
West Norfolk**



Planning Committee

Agenda

**Monday, 14th June, 2021
at 9.30 am**

in the

**Assembly Room
Town Hall
Saturday Market Place
King's Lynn**

**Also available to view at WestNorfolkBC on You
Tube**



King's Court, Chapel Street, King's Lynn, Norfolk, PE30 1EX
Telephone: 01553 616200
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PLANNING COMMITTEE AGENDA

Please note that due to the number of applications to be considered it is proposed that the Committee will adjourn for lunch at approximately 12.30 pm and reconvene at 1.10 pm.

Please ensure that all mobile phones are switched to silent

DATE: Monday, 14th June, 2021

VENUE: Assembly Room, Town Hall, Saturday Market Place, King's Lynn PE30 5DQ

TIME: 9.30 am

1. APOLOGIES

To receive any apologies for absence and to note any substitutions.

2. MINUTES

To confirm as a correct record the Minutes of the Meeting held on 17 May 2021.

3. DECLARATIONS OF INTEREST

Please indicate if there are any interests which should be declared. A declaration of an interest should indicate the nature of the interest (if not already declared on the Register of Interests) and the agenda item to which it relates. If a disclosable pecuniary interest is declared, the Member should withdraw from the room whilst the matter is discussed.

These declarations apply to all Members present, whether the Member is part of the meeting, attending to speak as a local Member on an item or simply observing the meeting from the public seating area.

4. URGENT BUSINESS UNDER STANDING ORDER 7

To consider any business, which by reason of special circumstances, the Chair proposes to accept, under Section 100(b)(4)(b) of the Local Government Act, 1972.

5. MEMBERS ATTENDING UNDER STANDING ORDER 34

Members wishing to speak pursuant to Standing Order 34 should inform the Chair of their intention to do so and on what items they wish to be heard before a decision on that item is taken.

6. CHAIR'S CORRESPONDENCE

To receive any Chair's correspondence.

7. RECEIPT OF LATE CORRESPONDENCE ON APPLICATIONS

To receive the Schedule of Late Correspondence received since the publication of the agenda.

8. INDEX OF APPLICATIONS (Pages 6 - 7)

The Committee is asked to note the Index of Applications.

a) Decisions on Applications (Pages 8 - 111)

To consider and determine the attached Schedule of Planning Applications submitted by the Executive Director.

9. UPDATE ON TREE MATTERS (Pages 112 - 114)

The Committee is asked to note the report.

10. DELEGATED DECISIONS (Pages 115 - 154)

To receive the Schedule of Planning Applications determined by the Executive Director.

To: Members of the Planning Committee

Councillors F Bone, C Bower, A Bubb, G Hipperson (Vice-Chair),
M Howland, C Hudson, C Joyce, B Lawton, C Manning, E Nockolds,
T Parish, S Patel, C Rose, A Ryves, Mrs V Spikings (Chair), S Squire,
M Storey and D Tyler

Site Visit Arrangements

When a decision for a site inspection is made, consideration of the application will be adjourned, the site visited, and the meeting reconvened on the same day for a decision to be made. Timings for the site inspections will be announced at the meeting.

If there are any site inspections arising from this meeting, these will be held on **Thursday 17 June 2021** (time to be confirmed) and the meeting reconvened on the same day (time to be agreed).

Please note:

- (1) At the discretion of the Chair, items may not necessarily be taken in the order in which they appear in the Agenda.
- (2) An Agenda summarising late correspondence received by 5.15 pm on the Thursday before the meeting will be emailed (usually the Friday), and tabled one hour before the meeting commences. Correspondence received after that time will not be specifically reported during the Meeting.
- (3) **Public Speaking**

Please note that the deadline for registering to speak on the application is **12 noon** the working day before the meeting, **Friday 11 June 2021**. Please contact borough.planning@west-norfolk.gov.uk or call (01553) 616818 or 616234 to register.

For Major Applications

Two speakers may register under each category: to object to and in support of the application. A Parish or Town Council representative may also register to speak. Each speaker will be permitted to speak for five minutes

For Minor Applications

One Speaker may register under category: to object to and in support of the application. A Parish or Town Council representative may also register to speak. Each speaker will be permitted to speak for three minutes.

For Further information, please contact:

Kathy Wagg on 01553 616276
kathy.wagg@west-norfolk.gov.uk

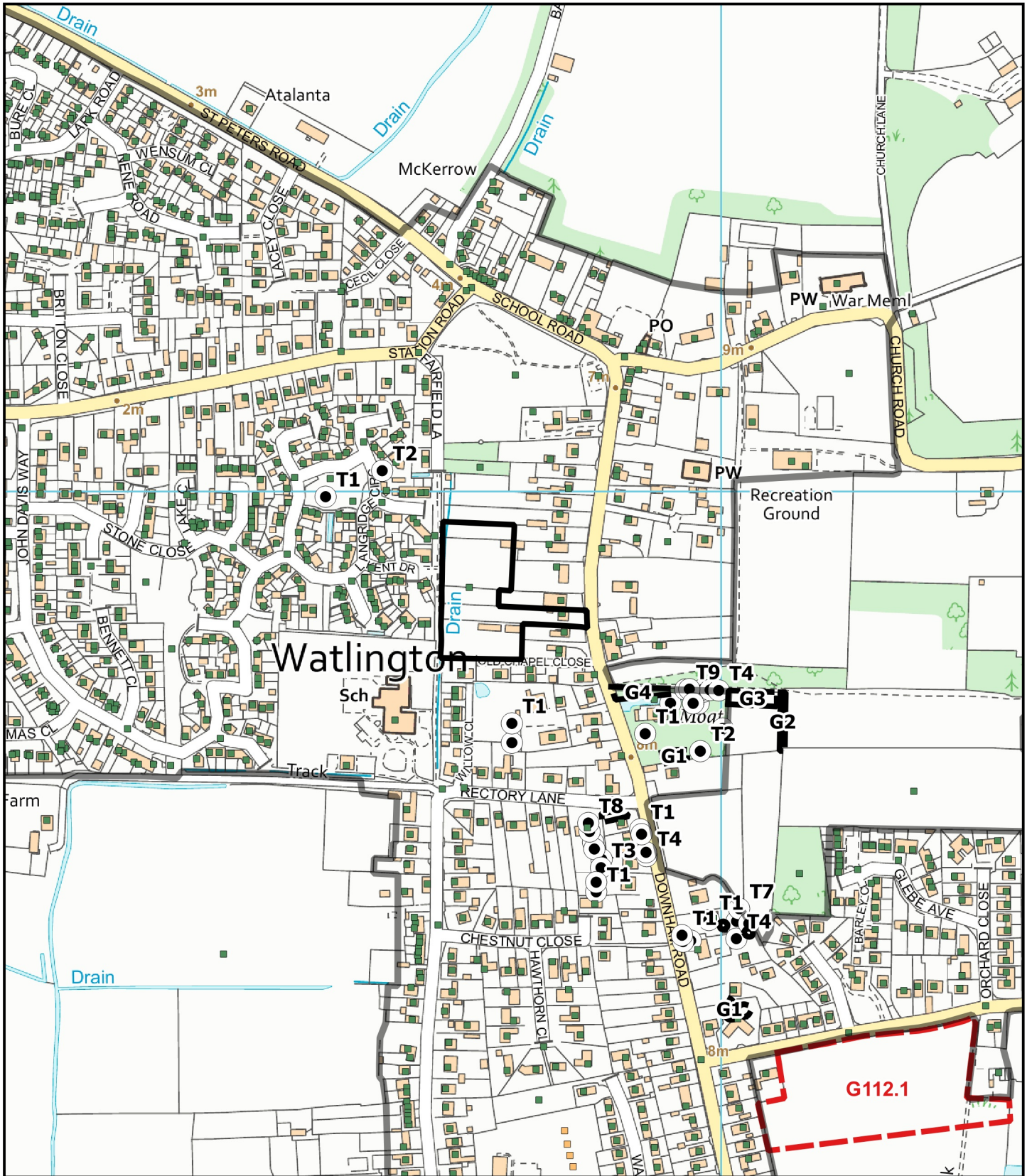
**INDEX OF APPLICATIONS TO BE DETERMINED
BY THE PLANNING COMMITTEE AT THE MEETING
TO BE HELD ON MONDAY 14 JUNE 2021**

Item No.	Application No. Location and Description of Site Development	PARISH	Recommendation	Page No.
8/1	MAJOR DEVELOPMENTS			
8/1(a)	20/01661/OM Land Rear of 24 - 36 Downham Road Downham Road Residential development for up to 25 dwellings (Outline application including access only)	WATLINGTON	APPROVE	8
8/2	OTHER APPLICATIONS/ APPLICATIONS REQUIRING REFERENCE TO THE COMMITTEE			
8/2(a)	21/00605/F Manor Farm 29 Short Beck Proposed Timber Cart Lodge to provide secure undercover parking	FELTWELL	APPROVE	31
8/2(b)	21/00630/F Land South of Old Battery House Cross Bank Road End extension to existing workshop building	KING'S LYNN	APPROVE	38
8/2(c)	21/00680/F 24 - 26 Austin Fields Austin Fields Industrial Estate Proposed extension to industrial unit	KING'S LYNN	APPROVE	48
8/2(d)	21/00289/CU Oak Lodge Thetford Road Retrospective change of use of land for siting of up to 19 glamping pitches	NORTHWOLD	REFUSE	55
8/2(e)	19/01622/F The House On The Green Ling Common Road Proposed residential development & conversion of dis-used public house	NORTH WOOTTON	APPROVE	66
8/2(f)	21/00419/F Cole Green House Fring Road RETROSPECTIVE APPLICATION : Retention and completion of detached single storey open car port to front of existing house	SEDFORD	APPROVE	88

Item No.	Application No. Location and Description of Site Development	PARISH	Recommendation	Page No.
8/2(g)	21/00205/F Manor House Farm Nurseries Green Lane Proposed residential development, involving demolition of existing buildings benefitting from prior notification approval for 5 dwellings	WALSOKEN	APPROVE	101

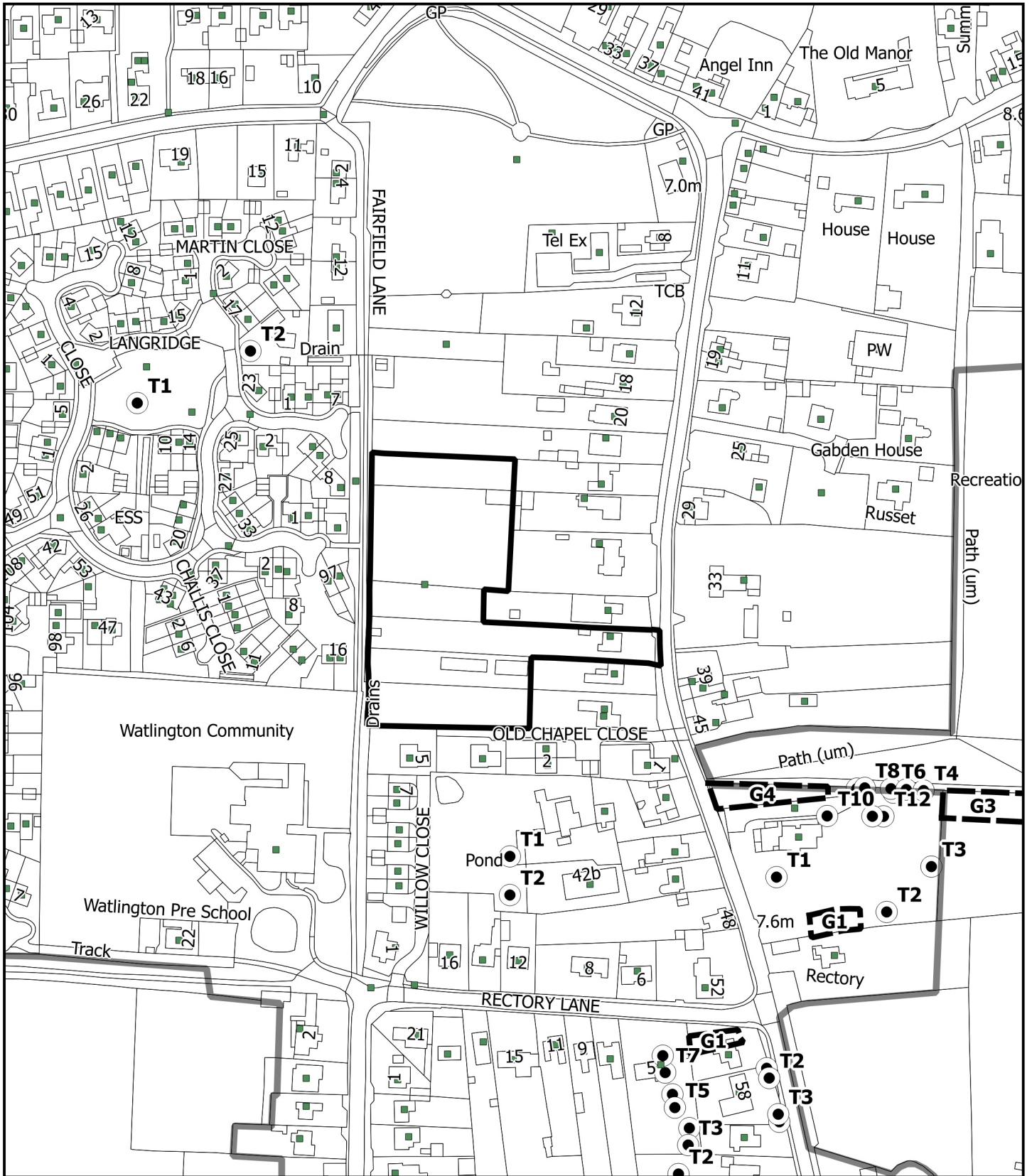
20/01661/OM

Land rear of 24-36 Downham Road Watlington



20/01661/OM

Land rear of 24-36 Downham Road Watlington



AGENDA ITEM NO: 8/1(a)

Parish:	Watlington	
Proposal:	Residential development for up to 22 dwellings (Outline application including access only)	
Location:	Land Rear of 24 - 36 Downham Road Downham Road Watlington Norfolk	
Applicant:	-	
Case No:	20/01661/OM (Outline Application - Major Development)	
Case Officer:	Mrs C Dorgan	Date for Determination: 9 February 2021

Reason for Referral to Planning Committee – Application called in by Councillor Bhondi

Neighbourhood Plan: No

Case Summary

The application seeks outline planning consent with access only for up to 22 dwellings. The site is located centrally within the built extent of the village of Watlington with Downham Road to the east, and a footpath and Watlington Primary School to the west. The site is 0.92 ha in size and currently consists of garden land with some sheds/ barn, largely surrounded by existing dwellings. The proposed site access is via Downham Road, and would require the demolition of an existing dwelling no. 32 Downham Road.

Watlington is a Key Rural Service Centre within the adopted Core Strategy (2011), and the site is located within the development boundary for the village.

Key Issues

- Principle of Development
- Form and Character
- Highways/ Access
- Ecology
- Flood Risk/ Drainage
- Neighbour Amenity
- Section 106 requirements
- Other material considerations

Recommendation

A) APPROVE subject to the completion of a Section 106 agreement within four months of the date of the resolution to approve.

B) REFUSE if the Section 106 Agreement is not agreed within four months of the date of this resolution to approve.

THE APPLICATION

The application seeks outline planning consent with access only for up to 22 dwellings. The site is located centrally within the built extent of the village of Watlington with Downham Road to the east, and a footpath and Watlington Primary School to the west. The site is 0.92 ha in size and currently consists of garden land with some sheds/ barn, largely surrounded by existing dwellings. The proposed site access is via Downham Road and would require the demolition of an existing dwelling no. 32 Downham Road.

Watlington is a Key Rural Service Centre within the adopted Core Strategy (2011), and the site is located within the development boundary for the village.

The application submitted includes an indicative layout to show that up to 22 dwellings could be accommodated on the site, alongside the highways and parking requirements and the open space provision. Originally the application sought consent for up to 25 dwellings, however following negotiations it was deemed appropriate to reduce this number to better reflect the locality and policy requirements.

SUPPORTING CASE

The application is in outline with all matters except access reserved for future consideration. It proposes the demolition of one dwelling and the erection of up to 22 dwellings including policy compliant affordable housing. The indicative site layout plan shows one way that the site could be developed, however such considerations are for another day when a reserved matters application comes before you.

The application site falls within the settlement limits of Watlington. All four boundaries of the application site face other residential properties. It is not located in the countryside or even on the edge of the settlement, it is accessible to all the facilities in Watlington which is designated a key rural service centre.

The Core Strategy acknowledges that growth in Watlington will be supported, as it was at Willow Close and Old Chapel Close. There can be no objection to the principle of houses including affordable housing on a well located site in a settlement identified as a sustainable location for new housing.

The development of up to 22 dwellings will result in a density of development that is both compliant with the Government policy of making effective use of urban land as well as respecting and responding to the density of development on neighbouring sites.

The proposal would provide a comprehensive redevelopment of the site in contrast to the piecemeal in depth tandem development that has taken place on neighbouring plots. The illustrative proposals incorporate two and single storey development that responds to the local context and the character of Watlington. Whilst the site layout plan is indicative it illustrates how development can be comfortably accommodated on the application site.

Overall the proposal will deliver a significant net increase in trees and hedgerow that will contribute positively to the character and biodiversity of the area and are a substantial benefits of the proposed scheme. Issues of ecological importance have been addressed by the applicant's retained experts and Natural England and your own advisors have both confirmed the proposals are acceptable.

Drainage and flooding issues have been addressed in some detail despite the outline nature of the application. The LLFA and your drainage advisors have confirmed that the proposals are acceptable and conditions can control such matters once the details are submitted.

The access has been demonstrated to be safe and meet all requisite highway standards and the highway authority does not object to the proposal.

The provision of policy compliant affordable housing is a significant benefit of the proposed scheme that should carry substantial weight in any planning considerations as should the provision of housing on such a well located site within an established settlement.

Finally we would like to thank your Officers for working with us during the application process to resolve some minor technical issues and we can confirm that the applicant has no objection to any reasonable conditions that the Council consider necessary to control future development at the site.

PLANNING HISTORY

2/93/1400/F: Application Permitted: Delegated Decision 16/03/94 - Retention and continued use of 4 sheds for storage of packing materials - Rear of 36 Downham Road

2/93/0239/F: Application Permitted: Delegated Decision 01/04/93 - Retention and continued use of 4 sheds and 4 containers for storage of packing materials - 36 Downham Road

05/01959/O: Application Permitted: Delegated Decision 28/10/05 - Outline Application: Construction of two bungalows - Land West Of 36 Downham Road

2/94/1869/F: Application Refused: Delegated Decision 23/01/95 - Retention and continued use of 3 sheds for storage of packing materials - Rear of 36 Downham Road

2/94/0423/O: Application Refused: Delegated Decision 20/04/94 - Site for construction of two dwellings after demolition of light industrial units - Land At 36 Downham Road. Appeal Allowed.

2/94/1442/F: Application Permitted: Committee decision 01/11/94 - Extension to dwelling - Harfayka House 26 Downham Road

2/03/0494/F: Application Permitted: Delegated Decision 23/04/03 - Extension to dwelling - 34 Downham Road

2/99/0783/O: Application Permitted: Committee decision 27/07/99 - Site for construction of 2 bungalows - Land to rear of 36 Downham Road

RESPONSE TO CONSULTATION

Parish Council: OBJECTION

1. The proposal, by reason of the number of units proposed, represents an over-intensive use of the site and would create a cramped form of development. In addition to this, there will be a significant reduction in the open space amenity experienced by the immediate surrounding environment, which is not in harmony with and does not enhance the form and character of the building characteristics of the locality or its setting. Advice contained within

the National Planning Policy Framework for Delivering Sustainable Development and Housing require new development to be of a high standard of design, which respects the characteristics of the locality. It is considered that a cramped form of development and the subsequent loss of amenity space would be unsympathetic to, and out of character in this area. The proposal is therefore contrary to advice contained within the National Planning Policy Framework for Delivering Sustainable Development and Housing.

2. The proposal, by virtue of its location, would provide a backland form of development which would not respect the form and character of the surrounding area and would set an undesirable precedent. This would be contrary to advice contained within the National Planning Policy Framework for Delivering Sustainable Development.

3. By virtue of its excessive scale, mass and height, coupled with its proximity to neighbouring properties, this will result in an oppressive form of development which would be detrimental to the outlook currently enjoyed by existing residential dwellings.

4. The proposed development by virtue of its confined layout, lack of on-site parking and inadequacy of the local infrastructure, is considered to be contrary to the advice contained within the National Planning Policy Framework for Delivering Sustainable Development.

5. The application has been made with a lack of car parking for residents. The limited parking in this area, coupled with an increase in residents potentially requiring parking provisions, would create offsite parking problems, and is contrary to the general principles of advice contained within the National Planning Policy Framework for Delivering Sustainable Development.

6. Inadequate visibility splays are provided at the junction of the access with the County highway, Downham Road, and this would cause danger and inconvenience to users of the adjoining public highway.

7. As a result of site clearance which has already taken place, the proposed development has resulted in the loss of important trees, habitat and protected species which have value in this area, and this is contrary to advice contained within the National Planning Policy Framework for Planning and the Historic Environment.

8. The important allocation of affordable housing has not been measured for this proposal; it is considered that a minimum of five affordable dwellings should be assigned to this development.

Local Highway Authority: NO OBJECTION subject to conditions

Since the original comments on the application (7 Dec 2020) discussions have been held with the applicant regarding site access arrangements. Plan (drawing 3559.SK02-P5) addresses our earlier comments.

Should your authority support the application we recommend conditions are appended to the consent notice to provide detailed plans of the roads, footways, street lighting, foul and surface water drainage and that works are carried out prior to occupation to the required standards. Also, the required visibility splays for the access and details of the on-site parking for construction workers, wheel washing and delivery arrangements for the duration of the construction period.

Lead Local Flood Authority: NO OBJECTION subject to conditions

In response to previous LLFA comments the applicant has now submitted additional information and in light of this we have no objection subject to conditions being attached to any consent if this application is approved and the Applicant is in agreement with pre-commencement conditions.

Environment Agency (EA): NO OBJECTION

The application site is located in Flood Zone 1.

ANGLIAN WATER: NO OBJECTION

Foul Water - The foul drainage from this development is in the catchment of Watlington Water Recycling Centre that will have available capacity for these flows.

Surface Water disposal - From the details submitted to support the planning application the proposed method of surface water management does not relate to Anglian Water operated assets. As such, we are unable to provide comments on the suitability of the surface water management. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board.

IDB: NO OBJECTION

The Board's Consultant Engineer has now had an opportunity to review the additional information. As long as there is no proposal to pipe a watercourse, then no Section 23 Consent is required and the restoration of the local ditch will be a positive step. The fact that flows will be balanced to pre-development rates does not mean that a discharge consent from the Board is not required. The Board therefore do not have any objection to the site, subject to consent for discharge being obtained.

CSNN: NO OBJECTION subject to conditions

Given the indicative layout, CSNN would suggest/ request that the final site layout (at RM stage) is revised to re-locate the POS/equipped area of play where plots 13 and 14 are currently proposed, to provide access to the watercourse beyond and keep the existing flow path clear.

The indicative site layout includes hedging to the rear (western) boundary of the site. In line with the Designing Out Crime Officer from Norfolk Constabulary comments, this boundary is fenced with close board fencing to aid noise attenuation and security of plots.

Additionally, the length of the site access road between numbers 30 and 34 should be bordered with acoustic fencing, to protect the residential amenity of these dwellings from the traffic noise associated with this large number of dwellings.

Any future site design should include the siting and locations of waste and recycling bins for each plot.

Greenspace Officer: No OBJECTION

Having discussed with my colleagues in Public Open Space, we would like to offer feedback as follows:

- site should accommodate a suitably equipped children's play space, or otherwise (following consultation with Watlington Parish Council) a commensurate off-site contribution be made towards play provision on the nearby playing field;
- robust arrangements need to be in place to secure the permanent maintenance of any on site landscaping – landscaping which is intended to be transferred to individual purchasers needs to be within natural property curtilage;
- needs to be careful consideration as to selection of boundary planting and trees, particularly against private residential property (i.e. to either side of main access road). Species should be chosen with respect to their final height and spread, so as to not to risk causing damage or excess shading to adjoining property;
- hedge planting alongside drainage ditch to west of site should be reconsidered – residents are unlikely to maintain this feature on the side facing towards the cycle path meaning that, over time, it may be left to overgrow and potentially obstruct the water course and/or cyclepath.

Arboricultural Officer: No OBJECTION

No objections at this stage. It will be necessary for future applicants to complete an arboricultural method statement and tree protection plan when a layout has been submitted.

Housing Enabling Officer: NO OBJECTION

I have looked at the above application and can confirm that the site area and number of dwellings proposed trigger the thresholds of the Council's affordable housing policy as per CS09 of the Council's adopted Core Strategy.

At present a 20% provision is required on sites capable of accommodating 5 or more dwellings and/or 0.165ha in Watlington. The affordable housing provision is then further split into 70% of the affordable homes being made available for rent and the other 30% for shared ownership or any other intermediate product that meets the intermediate definition within NPPF, meets an identified need in the Borough and is agreed by the Council. In this instance 4 units would be required.

It is important for the applicant to note that we operate a dynamic approach to viability whereby the affordable housing thresholds and percentages are reviewed on an annual basis and informed by the following factors;

- Market Land Values
- House Prices
- Level of contribution sought overall
- Index of Build Costs

However any S.106 agreement signed before the review will provide the prevailing affordable housing percentage at the time of determining the application.

The affordable housing mix i.e., unit types, layout etc. will need to be addressed in the reserved matters. Whilst at this stage I appreciate that it is difficult to agree the type of affordable housing unit, ie 2bed, 3 bed etc, I would recommend that, in order to best meet an identified housing need, mainly smaller units i.e. 2bed 4 person units are provided. Please note however that housing need is not static and therefore the affordable housing mix may change as time progresses particularly if there is a significant delay in submitting the reserved matters.

The affordable housing should be fully be integrated with the general market housing in order to achieve mixed and sustainable communities in which the accommodation is tenure blind. On a site of 22 dwellings, the affordable dwellings should be located in clusters and an objection from us is likely if this is not met.

The attached document contains details of the space standards used by the Borough Council to promote deliverability and to meet need for affordable housing. All S106 Affordable Housing units should meet these standards, and any that do not are likely to result in an objection from us.

The affordable units must be transferred to a Registered Provider of Affordable Housing agreed by the Council at a price that requires no form of public subsidy.

A S.106 Agreement will be required to secure the affordable housing contribution.

Environmental Quality: NO OBJECTION

Contaminated Land - Having reviewed the information provided in the application together with our files, we have no comments or objections regarding contaminated land.

The Contamination Screening Assessment provided by the applicant highlights potential ACMs in the building fabric of structures on site and therefore recommend an informative is attached related to the Control of Asbestos Regulations.

Air Quality - The outline application is for the construction of up to 25 dwellings and will include 53 vehicular parking spaces in line with Norfolk County Council standards. This is not deemed a significant impact in line with EPUK and IAQM Planning for Air Quality Guidance.

Therefore, we have no objection to the proposed application on the grounds of air quality. However, we would welcome the inclusion of EV charging infrastructure in line with NPPF para. 110 (e) and measure 19 of the Borough Council's Air Quality Action Plan.

Historic Environment Service: NO OBJECTION

There are no known archaeological implications.

Norfolk Planning Obligations: NO OBJECTION

Education - Based on current school capacity Norfolk County Council will not seek education contributions for this proposed development on this occasion.

Fire - This development will require 1 fire hydrant per 50 dwellings at a cost of £843 per hydrant on no less than a 90 mm main, which should be dealt with through condition.

Library - A development of 25 dwellings would place increased pressure on the library and mitigation is required to increase the capacity of the library. This will be sought through the CIL process.

Norfolk Fire and Rescue: NO OBJECTION

No objections providing the proposal meets the necessary requirements of the current Building Regulations 2010 – Approved Document B (volume 1 – 2019 edition) in relation to B5 access and facilities, including arrangements for emergency service vehicles, as administered by the Building Control Authority.

Architectural Liaison Officer: NO OBJECTION

Design and Layout - The application details a well laid out site, of a cul-de-sac design, which doesn't have any alleyways, is not permeable and has a primary vehicular access point. This layout is very encouraging as increased permeability is linked to increased crime. A no through route gives residents a feeling of ownership and encourages a feeling of community and discourages anyone intent on criminal behaviour as not only are they likely to be seen by residents and potentially challenged – but they have nowhere to go within the development.

My only real area of concern is ensuring that there are adequate boundary treatments for the vulnerable rear plots of dwellings 8-18 as they back on to public pathway. Robust 1.8m closed board fencing topped with 300mm trellis should be installed as a minimum.

Natural England: NO OBJECTION

Natural England has no comments to make on this application.

NCC Ecology Officer: NO OBJECTION subject to conditions

There are no outstanding ecological issues regarding protected species.

The applicant has been accepted into the District Level Licence Scheme and a countersigned Impact Assessment and Conservation Payment Certificate has been received by the LPA. The red line boundary has been checked against that submitted for 20/01661/OM and following confirmation that all ponds within 250m have been included (including that at 5 Old Chapel Close), the LPA can be satisfied that Natural England's accepts the development in question is suitable for DLL and that the Conservation Payment will suffice to compensate for its impacts on GCN. In accordance with Natural England recommendations a Construction Environment Management Plan (CEMP): Biodiversity should be conditioned to demonstrate the LPA is meeting its duty to prevent wildlife crime under s17 Crime & Disorder Act 1998 for any protected species.

A single soprano pipistrelle bat roosts within building 3. The site will be registered under the CL21 bat low impact class license.

The ecological report (Applied Ecology, 2020) and subsequent reports (Applied Ecology 01/12/20) make a number of recommendations for enhancement including provision of bird boxes, hedgehog gaps in fences (and beneath gates), and use of native species in the soft landscaping proposals, and sensitive design of lighting. These should be secured via condition.

Should you be minded to grant consent conditions are recommended to safeguard the ecological interests of the site in accordance with Policy CS12.

Pond Restoration: Watlington Primary School Pond: It is proposed (Applied Ecology, 01/12/20) to restore a pond on the adjacent school grounds. This could be secured via a S106 agreement which would need to incorporate means of securing funds (for restoration and ongoing management) and include a method statement or similar detailing how the pond will be restored/managed, and who will be responsible.

Norfolk Wildlife Trust: NO OBJECTION

Support the recommendations made in the most recent response from the County Ecologist (dated 26th May).

Representations: 37 OBJECTION representations received (20 of which were from three neighbouring dwellings). The issues are summarised below-

- Site has been cleared prior to the application submission. Concerns raised that biodiversity destroyed, and queries legality of this. Destruction of trees, hedgerows and wildlife habitats is not acceptable.
- Presence of Great Crested Newts, owls, bats, deer, various species of birds - development will harm protected species. Why have not all species been surveyed?
- 25 dwellings and carpark will not achieve a net biodiversity gain.
- Concerns raised that site boundaries do not reflect ownership, particularly drainage ditch on western boundary. Works cannot go ahead on this ditch.
- Concerns raised re capacity of existing watercourses/ drainage provision to cope with additional dwellings. Historically has been an issue with surface water drainage during periods of heavy rain, and storm drains do not work adequately. Concern that development on the site will cause surface water drainage issues to neighbouring dwellings as some are lower lying.
- Water supply issues within village.
- Concerns raised about ecology reports and Natural England licence. Whether sufficient ponds/ watercourses have been included. Queries around assumptions of drainage ditches/ ponds, is ecology work based on evidence? Is there sufficient evidence which follows European/ British law.
- GCN DNA surveys should be required (at the appropriate times of the year). Preliminary appraisal work is not sufficient.
- GCN on site at school in 2017 and date back to 1995/6.
- Development will put strain on doctors surgery and school.
- Downham Rd cannot cope with the additional traffic.
- Insufficient parking provided on site.
- Poor access and visibility on a bend.
- Inadequate access and adequacy of parking, loading and turning vehicles.
- Is it accessible by emergency vehicles and where is the nearest fire hydrant?
- KLWNBUG The Norfolk and Fens Cycling Campaign – Transport Statement submitted contains errors including the ref to no dedicated cycle paths in the village' when there is one immediately west of the site. Bridging the ditch to join up links to the school and station is a missed opportunity.
- Cycle parking on site should be in accordance with NCC Parking Standards.
- Application should have been better publicised.
- Noise and disturbance of additional homes and vehicles and play area.
- Overlook existing dwellings and result in a loss of privacy
- Overshadow neighbouring dwellings
- Backland development – would set a precedent.
- Contrary to form and character and village/ rural setting.
- Visual amenity value of site, and acts as a barrier between existing houses. Valuable green space in village.
- No green spaces provided.
- Site layout and dwellings proposed are too large and dwarf neighbouring existing dwellings, would be excessive in form/ scale.
- Brownfield sites around the borough should be built on first.
- Overdevelopment of the site
- Village needs small 1-2 bed homes not large family homes.
- Affordable housing needed.
- Applicant has been burning waste on site – CSNN were contacted.

3 NEUTRAL representations received. These are summarised as below-

- Independent ecology survey carried out at 5 Kent Drive, pond at 5 Old Chapel Close and adjacent land visible from public footpath. Results show presences of GCN and potential for bats.
- Wish to retain existing trees on boundary with 4 Old Chapel Close.
- Watlington Primary School has confirmed that no agreement has yet been reached regarding a financial contribution to the pond, and this should therefore not be relied upon when determining the application.

3 representations of **SUPPORT** received; summarised as-

- Land is land-locked and has been wasteland for many years. An obvious area for development for high quality housing.
- New development will improve village, and the quality of development could enhance area. Had to call police to intruders on the land.
- Enhance pedestrian access towards the station and medical centre.
- Open space should be included and no more than 25 houses in total.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS11 - Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

DM16 – Provision of Recreational Open Space for Residential Developments

DM17 - Parking Provision in New Development

DM19 - Green Infrastructure/Habitats Monitoring & Mitigation

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)

Planning Practice Guidance (PPG)

National Design Guide 2019

PLANNING CONSIDERATIONS

The key issues identified in the consideration of this application are as follows:

- Principle of Development
- Form and Character
- Highways/ Access
- Ecology
- Flood Risk/ Drainage
- Neighbour Amenity
- S.106 requirements
- Other material considerations

Principle of Development

The application site is located in the village of Watlington which is categorised as a sustainable settlement, a Key Rural Service Centre in Policy CS02 of the Core Strategy (2011). Policy CS06 goes on to state-

'The strategy for rural areas is to:

- promote sustainable communities and sustainable patterns of development to ensure strong, diverse, economic activity;
- maintain local character and a high quality environment;
- focus most new development in key rural service centres selected from the Settlement Hierarchy Policy CS02;
- ensure employment, housing (including affordable housing), services and other facilities are provided in close proximity.'

The application site, located centrally within the village of Watlington, is close to services and sustainable transport links meets this strategy.

Furthermore, the central location of the site means that it is within the existing built extent of the village, and the development boundary as defined in the adopted Local Plan. Therefore in line with Policy DM2 of the Site Allocations and Development Management Policies Plan (SADMPP) (2016); 'Development will be permitted within the development boundaries of settlements shown on the Policies Map provided it is in accordance with other policies in the Local Plan'.

There is planning history on part of the site (to the rear of nos.34-36 Downham Road) with an appeal allowed in 1994(ref: 2/94/0423/O) for the demolition of existing industrial premises and the construction of two dwellings. The Inspector considered in this case that the site was within the development boundary (at that time Built Environment Type D of the 1998 Local Plan) and the impacts on neighbouring dwellings, and the local highway network were acceptable. It was also stated that the application would not set a precedent for future development in the locality.

In terms of the principle of development on this site, the application accords with the Core Strategy Policies CS02, CS06 and CS08, and SADMPP Policy DM2.

Form and Character

The application site is situated between a low density form of development along Downham Road, with detached dwellings in larger plots with a mixture of single storey and two storey

dwellings. To the west is more recent development much higher in density at Jackson Close and Kent Drive which are two storey dwellings.

The Parish Council, and neighbours have raised objections, stating that the scale of development for the site is inappropriate for the location. That the scheme will represent backland development and the site will be over developed giving rise to a cramped form of development.

In terms of whether this constitutes backland development, the proposed development suggests an inclusive planned approach by creating a cul de sac rather than individual plots being sold off. Given the modern development immediately to the west of the site and beyond this development off St Peters Road, this form is not considered to be alien in the village and is not contrary to the form and character within this locality.

With regard to the scale of development, while the application is an outline consent only with the details yet to be agreed, an indicative layout was provided to illustrate the maximum number of dwellings (22) was possible on the site. Initially the proposal was for 25 units however following negotiation, this number was brought down to better reflect the site constraints and policy requirements. This particular layout should not be considered as part of this consent. Furthermore the description of the application is 'up to 22 dwellings' which means that the applicant will, during the reserved matters application, have to provide a satisfactory layout taking into account policy requirements, form and character and neighbour amenity to gain consent at this stage.

In terms of this outline application, it is considered that the scale of development proposed in this location is acceptable in terms of the form and character of the locality, in line with Policy CS08 of the Core Strategy (2011), and Policy DM15 (SADMPP 2016). The site layout, landscaping, and scale and appearance of the dwellings will be considered as part of the reserved matters application.

Highways/ Access

Objections have been raised by the Parish Council and neighbouring residents about the suitability of the proposed access into the site; the additional traffic this would generate and the impact of this traffic on the surrounding highway network as well as the parking and turning provisions within the site.

The scheme has been revised during the application process, specifically the access road and visibility splays which are now in accordance with the Local Highway Authority (LHA) requirements. The applicant also submitted a Transport Statement alongside the revised plans. The LHA does not object to the scheme in its current form, subject to the inclusion of a number of conditions to provide detailed plans of the roads, footways, street lighting, foul and surface water drainage and that works are carried out prior to occupation to the required standards. Also, the required visibility splays for the access and details of the on-site parking for construction workers, wheel washing and delivery arrangements for the duration of the construction period.

Given this is an outline application only the detailed layout of the site including parking and turning provision will be determined as part of the reserved matters application, rather than at this stage. Similarly, a comment was made about potential linkages to existing cycle paths, and again this can be considered as part of the site layout at reserved matters.

Therefore, the application is compliant with Policy CS11 of the Core Strategy (2011) and Policy DM15 of the SADMPP (2016).

Ecology

Neighbours to the application site have drawn attention to the presence of protected species on the site including Great Crested Newts and bats, and the potential for water voles. These are both within the site and on neighbouring land to the east, south and west of the site. The site, while garden land, had until recently been overgrown and neighbours have expressed concerns and disappointment at the clearance of the site and thereby removal of existing wildlife habitats.

The NPPF states that 'decisions should contribute to and enhance the natural and local environment by:

(a) protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan);

(d) minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures.'

And in paragraph 175 that 'when determining planning applications, local planning authorities should apply the following principles:

(a) if significant harm to biodiversity resulting from a development cannot be avoided (through locating on an alternative site with less harmful impacts), adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused.'

Policy CS12 of the Core Strategy states-

'Development should seek to avoid, mitigate or compensate for any adverse impacts on biodiversity, geodiversity and heritage as well as seeking to enhance sites through the creation of features of new biodiversity, geodiversity and heritage interest. The design of new development should be sensitive to the surrounding area, and not detract from the inherent quality of the environment.

The Council will require development proposals to be accompanied by an ecological impact study and assessment proportionate to the degree of the impact and importance of the species affected.

It may be necessary to secure biodiversity, geodiversity and heritage needs through planning conditions and/or obligations. This can include timing of work, Section 106 Agreements, pre-application negotiations, conditions, mitigation and compensation measures.'

The applicant has appointed ecologists to carry out preliminary survey / investigation work alongside additional survey work being carried out by neighbouring residents to provide preliminary evidence of Great Crested Newts within the application site. Consideration has also been given to the likely presence of water voles within the site, of which it is considered that the habitat is not suitable and there is no evidence of such. In terms of the presence of bats, a bat roost survey has been provided which shows there is no evidence of roosting bats or potential roosting bat features likely on trees within the site. A single soprano pipistrelle bat roosts within existing building 3 on the site. The site will be registered under the CL21 bat low impact class license and a condition has been attached to ensure this.

The applicant has secured a Great Crested Newt District Level Licence from Natural England which permits the carrying out of activities that would otherwise breach regulations,

and a countersigned Impact Assessment and Conservation Payment Certificate has been received by the LPA. This license covers the application site and details neighbouring ponds within 250m. The applicant has also offered to make a financial contribution to reinstate the pond at Watlington Primary School (which neighbours the site) as a form of mitigation/enhancement. However, while this contribution is desirable it is not a requirement for the planning consent, this has been met by the Natural England licence, and therefore cannot be included in the Section 106 agreement.

Advice has been sought from the Norfolk County Council Ecologist and their view is that there are no outstanding ecological issues regarding protected species. That with the license in place, recommended conditions can be attached to the consent to ensure due consideration is given to protected species within the site as well as requirements for biodiversity enhancement on the site.

With these specified protection measures in place, and on the advice of the NCC Ecologist, the scheme is in accordance with the NPPF and Core Strategy Policy CS12.

Flood Risk/ Drainage

The application site is located in Flood Zone 1 and so at low flood risk. In its current form as garden land largely drains into an existing drain running along the western boundary of the site.

The drains are unregistered and ownership of the drains is unknown; however the properties along Downham Road have had the benefit of surface water drainage into these drains since the 1940s and as such the properties may lay such additional drains and pipes to the existing drainage system as are necessary for the property drainage of any properties on the land. This drain then feeds into an IDB managed drain.

Objections were raised by local residents on the grounds that there were incidents of poor drainage within the locality and that the existing watercourses/ drainage provision were not adequate to cope with the additional dwellings.

The surface water drainage information /scheme proposed by the applicant has been carefully assessed by both the Lead Local Flood Authority (as statutory consultee for Major development) and the Internal Drainage Board. They are satisfied with the information submitted, and there is an adequate drainage solution available to enable development of this scale on the site. Appropriate conditions are recommended to ensure that as the detailed scheme comes forward the drainage measures remain satisfactory.

The proposal is therefore in accordance with the NPPF and Policy CS08 of the Core Strategy 2011.

Neighbour Amenity

Given that this is an outline application it is difficult to assess the full impact on neighbour amenity as a result of development on the site. However, broadly speaking the loss of garden land to new residential development will have a visual impact on neighbouring dwellings but there is no right to a view. Objections to the application include the fact that the scheme is excessive in scale, mass and height; and that it is in too close proximity to existing dwellings resulting in overlooking/ a loss of privacy and overshadowing. As well as noise and disturbance, and parking issues caused by additional dwellings in this location. Finally, the green space acts as a barrier between dwellings currently. These concerns are noted and will be considered in detail as part of the reserved matters application.

The historic appeal on the application site, referred to above (ref: 2/94/0423/O), included a condition for single storey development only. However, it is considered that the site is of a sufficient size that the development could be designed to minimise any detrimental impacts on neighbouring dwellings, through the scale and type of dwellings, site layout and orientation of houses, landscaping measures etc. It is not considered such a condition is required at this stage. It is accepted that this area of garden land has provided a green area/break in built form for the residents. However, while the land has traditionally been an established green area, this is in private ownership and is not an area accessible to the public as open space. The landowner has the ability to clear the site at any time. In terms of parking / traffic issues the LHA is satisfied that there is sufficient space to provide adequate parking on site for the new dwellings proposed.

Full consideration of the scheme in terms of its potential impact on neighbour amenity, will be considered at the reserved matters stage.

The proposal therefore complies with Core Strategy Policy CS08 and SADMPP Policy DM15.

Section 106 requirements

Affordable Housing requirements – Based on the current number of dwellings proposed; the affordable housing requirement would be for four units. It is proposed that these are secured through a Section 106 agreement in the usual manner.

Open Space provision – During the application process discussions were held re the appropriate open space provision required for a development of this size (17sq.m per dwelling). Given this is an outline application only the details of this open space are not agreed at this stage however a Section 106 agreement will secure this need for provision in line with Policy DM16 of SADMPP (2016).

Other contributions - Norfolk County Council has confirmed that based on existing school capacity there is not a requirement for a financial contribution towards school places. There is a requirement for a financial contribution towards library provision however this sum will be accessed through the Community Infrastructure Levy process. Norfolk County Council do require that a fire hydrant is provided on site and a condition has been attached to secure this.

Other material considerations

The Norfolk Constabulary Architectural Liaison Officer, the Norfolk Fire Service as well as the Greenspace Officer, the Housing Enabling Officer and Community Safety and Neighbour Nuisance team have provided detailed advice to inform the reserved matters application.

The majority of third party issues raised are discussed in the main body of the report. Other representations made include –

Water supply – neighbours have queried local water supply/ pressure in the village. Anglian Water has been consulted on the application and we are awaiting their comments re water pressure.

Pressure of local services such as schools, doctors etc – Watlington is categorised as a Key Rural Service Centre, a sustainable rural settlement with the capacity for growth. Norfolk County Council has confirmed there is sufficient capacity within existing local schools for the level of growth proposed. The doctors surgery has the ability to adapt to reflect patient numbers and staffing, and is not a material reason for refusal.

Publicity of planning application – site notices were displayed along Downham Road and letters were sent to neighbouring residents in line with the requirements of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

CONCLUSIONS

The application site is located within the Key Rural Service Centre of Watlington and is within the development boundary for the village as defined by the adopted Local Plan. As a result, the principle of development on the site is acceptable. The Local Highway Authority is satisfied that the scheme proposed does not give rise to highway safety issues and is in accordance with planning policy subject to the conditions proposed. Drainage concerns were raised regarding the site and the applicant has provided a strategy to the LLFA, which has been agreed. Again, conditions are attached to secure the necessary arrangements, and also a condition is attached requiring full details of foul drainage to be submitted and agreed prior to commencement of development.

The applicant has provided survey work to ascertain the presence of protected species on site; namely bats and great crested newts. A Natural England Great Crested Newt District Level Licence has been obtained which allows development to proceed on site, and conditions are attached to ensure that the development is managed appropriately (both for bats and great crested newts).

The outline application is for access only with all other matters reserved and the applicant has provided an indicative layout to ensure that the site is capable of accommodating up to 22 dwellings, although the layout and details of the development is yet to be agreed. In terms of form and character, and neighbour amenity, the scheme is acceptable based on the information provided to date.

A Section 106 agreement is required to secure the Habitats Monitoring and Mitigation Fee, the affordable housing contribution of 4 units (based on 22 dwellings) and the open space contribution.

The development accords with the provisions of the NPPF, Core Strategy Policies CS01, CS02, CS06, CS08, CS11 and CS12 of the LDF (2011) and Policies DM2, DM15 and DM16 of the SADMPP (2016).

It is therefore recommended that the application be approved subject to the completion of a satisfactory S106 Agreement.

RECOMMENDATION:

A) APPROVE subject to the completion of a Section 106 agreement within four months of the date of the resolution to approve and subject to the imposition of the following condition(s):

- 1 Condition Approval of the details of the means of layout, scale, appearance and landscaping of the site (hereinafter called 'the reserved matters') shall be obtained from the Local Planning Authority before any development is commenced.
- 1 Reason To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.

- 2 Condition Plans and particulars of the reserved matters referred to in Condition 1 above shall be submitted to the Local Planning Authority in writing and shall be carried out as approved.
- 2 Reason To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 3 Condition Application for the approval of reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
- 3 Reason To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 4 Condition The development hereby permitted shall be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the latest such matter to be approved.
- 4 Reason To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 5 Condition The development hereby permitted shall be carried out in accordance with the following approved plans (Drawing Nos EP3103PL01-04A and EP3103PL01-08A) insofar as access only.
- 5 Reason For the avoidance of doubt and in the interests of proper planning.
- 6 Condition The development shall comprise of no more than 22 residential units.
- 6 Reason In the interests of protecting the environment and the future occupants of the development in accordance with the NPPF.
- 7 Condition No works shall commence on the site until such time as detailed plans of the roads, footways, street lighting, foul and surface water drainage have been submitted to and approved in writing by the Local Planning Authority. All construction works shall be carried out in accordance with the approved plans.
- 7 Reason This needs to be a pre-commencement condition to ensure fundamental elements of the development that cannot be retrospectively designed and built are planned for at the earliest possible stage in the development and therefore will not lead to expensive remedial action and adversely impact on the viability of the development.
- 8 Condition Prior to the occupation of the final dwelling all works shall be carried out on roads/footways/street lighting/foul and surface water sewers in accordance with the approved specification to the satisfaction of the Local Planning Authority.
- 8 Reason To ensure satisfactory development of the site and to ensure estate roads are constructed to a standard suitable for adoption as public highway
- 9 Condition Before any dwelling is first occupied the road(s)/footway(s) shall be constructed to binder course surfacing level from the dwelling to the adjoining County road in accordance with the details to be approved in writing by the Local Planning Authority.
- 9 Reason To ensure satisfactory development of the site.

- 10 Condition Prior to the first occupation of the development hereby permitted visibility splays measuring 2.4 metres x 59 metres shall be provided to each side of the access where it meets the highway. The splay(s) shall thereafter be maintained at all times free from any obstruction exceeding 0.225metres above the level of the adjacent highway carriageway.
- 10 Reason In the interests of highway safety in accordance with the principles of the NPPF.
- 11 Condition Development shall not commence until a scheme detailing provision for on-site parking for construction workers, wheel washing and delivery arrangements for the duration of the construction period have been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented throughout the construction period.
- 11 Reason To ensure adequate off-street parking during construction in the interests of highway safety. This needs to be a pre-commencement condition as it deals with the construction period of the development.
- 12 Condition Prior to commencement of development, in accordance with the submitted FRA and Drainage Strategy (Flood Risk Assessment and Drainage Strategy Report | Land west of Downham Road, Watlington, PE33 0HS | BHA Consulting | Project Ref: 3559 | Version 2 | Dated: 19 January 2021) and, where applicable, superseding supplementary information within:
- Supplementary statement to accompany the revised Drainage Strategy and address comments raised by the LLFA in response FW2021_0086 with revised drawings and calculations (Statement to Accompany Revised Drainage Strategy and Address Comments Raised by the LLFA (Ref: FW2021_0086) | Downham Road, Watlington | BHA Consulting | Dated: 03 March 2021),
 - Supplementary statement summarising details associated with the drainage strategy submitted in relation to the site and clarification regarding the ordinary watercourse (Statement summarising details associated with the drainage strategy submitted in relation to the site and clarification regarding the ordinary watercourse | Downham Road, Watlington | BHA Consulting | Dated: 15 April 2021),
 - The final submitted Drainage Strategy Drawing (Drainage Strategy | Downham Road, Watlington | Drawing No: 3559.SK04 | Rev: P3 | Dated: 23 February 2021),

detailed designs of a surface water drainage scheme incorporating the following measures shall be submitted to and agreed with the Local Planning Authority. The approved scheme will be implemented prior to the first occupation of the development. The scheme shall address the following matters:

- I. Surface water runoff rates will be attenuated to 2.1l/s as stated and clarified within the supplementary statement dated 03 March 2021 (Statement to Accompany Revised Drainage Strategy and Address Comments Raised by the LLFA (Ref: FW2021_0086) | Downham Road, Watlington | BHA Consulting | Dated: 03 March 2021) to the submitted FRA and Drainage Strategy. Submission of consent to discharge from the Internal Drainage Board is provided and that the proposed rates and volumes of surface water runoff from the development are acceptable.
- II. Provision of surface water attenuation storage, sized and designed to accommodate the volume of water generated in all rainfall events up to and including the critical storm duration for the 1.0% annual probability rainfall event including allowances

for climate change. A minimum storage volume of 378m³ will be provided as stated and clarified within the supplementary statement dated 03 March 2021 (Statement to Accompany Revised Drainage Strategy and Address Comments Raised by the LLFA (Ref: FW2021_0086) | Downham Road, Watlington | BHA Consulting | Dated: 03 March 2021) to the submitted FRA and Drainage Strategy.

III. Detailed designs, modelling calculations and plans of the of the drainage conveyance network in the:

- 3.33% annual probability critical rainfall event to show no above ground flooding on any part of the site.
- 1.0% annual probability critical rainfall plus climate change event to show, if any, the depth, volume and storage location of any above ground flooding from the drainage network ensuring that flooding does not occur in any part of a building or any utility plant susceptible to water (e.g. pumping station or electricity substation) within the development.

IV. Plans to be submitted showing the routes for the management of exceedance surface water flow routes that minimise the risk to people and property during rainfall events in excess of 1% annual probability rainfall event.

V. Finished ground floor levels of properties are a minimum of 300mm above expected flood levels of all sources of flooding (including the ordinary watercourses, SuDS features and within any proposed drainage scheme) or 150mm above ground level, whichever is the more precautionary.

VI. Details of how all surface water management features to be designed in accordance with The SuDS Manual (CIRIA C753, 2015), including appropriate treatment stages for water quality prior to discharge.

VII. A maintenance and management plan detailing the activities required and details of who will adopt and maintain the all the surface water drainage features for the lifetime of the development. This will also include the watercourse and any structures associated with its use.

12 Reason To prevent flooding in accordance with National Planning Policy Framework paragraph 163, 165 and 170 by ensuring the satisfactory management of local flood risk, surface water flow paths, storage and disposal of surface water from the site in a range of rainfall events and ensuring the SuDS proposed operates as designed for the lifetime of the development.

13 Condition No development shall commence until full details of the foul water drainage arrangements for the site have been submitted to and approved in writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.

13 Reason To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

14 Condition Prior to the installation of any external lighting for the access road or individual dwellings, a detailed outdoor lighting scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the type of lights, the orientation/angle of the luminaries, the location and heights of the lighting, the extent/levels of illumination over the site and on adjacent land and the measures to contain light within the curtilage of the site. The scheme shall be implemented in accordance with the approved scheme and thereafter maintained and retained as agreed.

- 14 Reason In the interests of minimising light pollution and to safeguard the amenities of the locality in accordance with the NPPF.
- 15 Condition Prior to commencement of demolition or development a detailed construction/demolition management plan must be submitted to and approved by the Local Planning Authority; this must include proposed timescales and hours of demolition and construction phases, deliveries/collections and any piling. The scheme shall also provide the location of any fixed machinery, their sound power levels, the location and layout of the contractor compound, the location of contractor parking, the location of site waste and materials stores and all proposed attenuation and mitigation methods to protect residents from noise, dust and litter, and communication methods to the wider community regarding the construction phases and likely disruptions. The scheme shall be implemented as approved.
- 15 Reason To ensure that the amenities of future occupants are safeguarded in accordance with the NPPF.
- 16 Condition The development shall not be brought into use until a scheme for the provision of fire hydrants has been implemented in accordance with a scheme that has previously been submitted to and approved in writing by the Local Planning Authority.
- 16 Reason In order to ensure that water supplies are available in the event of an emergency in accordance with the NPPF.
- 17 Condition No development shall take place (including demolition ground works, vegetation clearance) until a Construction Environmental Management Plan (CEMP: Biodiversity) has been submitted to and approved in writing by the local planning authority. The CEMP shall include the following:
- Risk assessment of potentially damaging construction activities;
 - Identification of 'biodiversity protection zones';
 - Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction;
 - The location and timing of sensitive works to avoid harm to biodiversity features;
 - The times during construction when specialist ecologists need to be present on site to oversee works;
 - Responsible persons and lines of communication;
 - The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person;
 - Use of protective fences, exclusion barriers and warning signs.

If several years have passed since surveys were undertaken then update surveys may be required at the reserved matters stage and any additional mitigation measures that need incorporating into the site's design agreed with the local planning authority. The validity of the ecological surveys will be informed by CIEEM guidelines (2019) see <https://cieem.net/resource/advice-note-on-the-lifespan-of-ecological-reports-and-surveys/>

The approved CEMP: Biodiversity shall be adhered to and implemented through the construction phases strictly in accordance with the approved details, unless agreed in writing by the local planning authority."

- 17 Reason In the interests of preserving and enhancing the natural environment and protected species in accordance with the NPPF and Policy CS12

- 18 Condition No development shall take place (including any demolition, ground works or site clearance) until an Ecological Design Strategy (EDS) addressing all of the ecological enhancements contained within the ecological supports submitted in support of the planning application has been submitted to and approved in writing by the local planning authority.

The EDS shall include the following:

- a. Purpose and conservation objectives for the proposed works
- b. Review of site potential and constraints
- c. Detailed design(s) and/or working method(s) to achieve stated objectives
- d. Extent and location/area of proposed works on appropriate scale maps and plans
- e. Type and source of materials to be used where appropriate (e.g. native species or local provenance)
- f. Timetable for implementation demonstrating that works are aligned with the proposed phasing of development
- g. Persons responsible for implementing the works
- h. Details of initial aftercare and long-term maintenance
- i. Details of monitoring and remedial measures
- j. Details for disposal of any wastes arising from works

The EDS shall be implemented in accordance with the approved details and all features will be retained in that manner thereafter.

- 18 Reason In the interests of preserving and enhancing the natural environment and protected species in accordance with the NPPF and Policy CS12

- 19 Condition Works shall not commence unless the local planning authority has been provided with confirmation of site registration under the CL21/licence issued by Natural England pursuant to the Conservation of Species and Habitats Regulations 2017 (as amended) authorizing the specified activity/development to go ahead.

- 19 Reason In the interests of preserving and enhancing the natural environment and protected species in accordance with the NPPF and Policy CS12

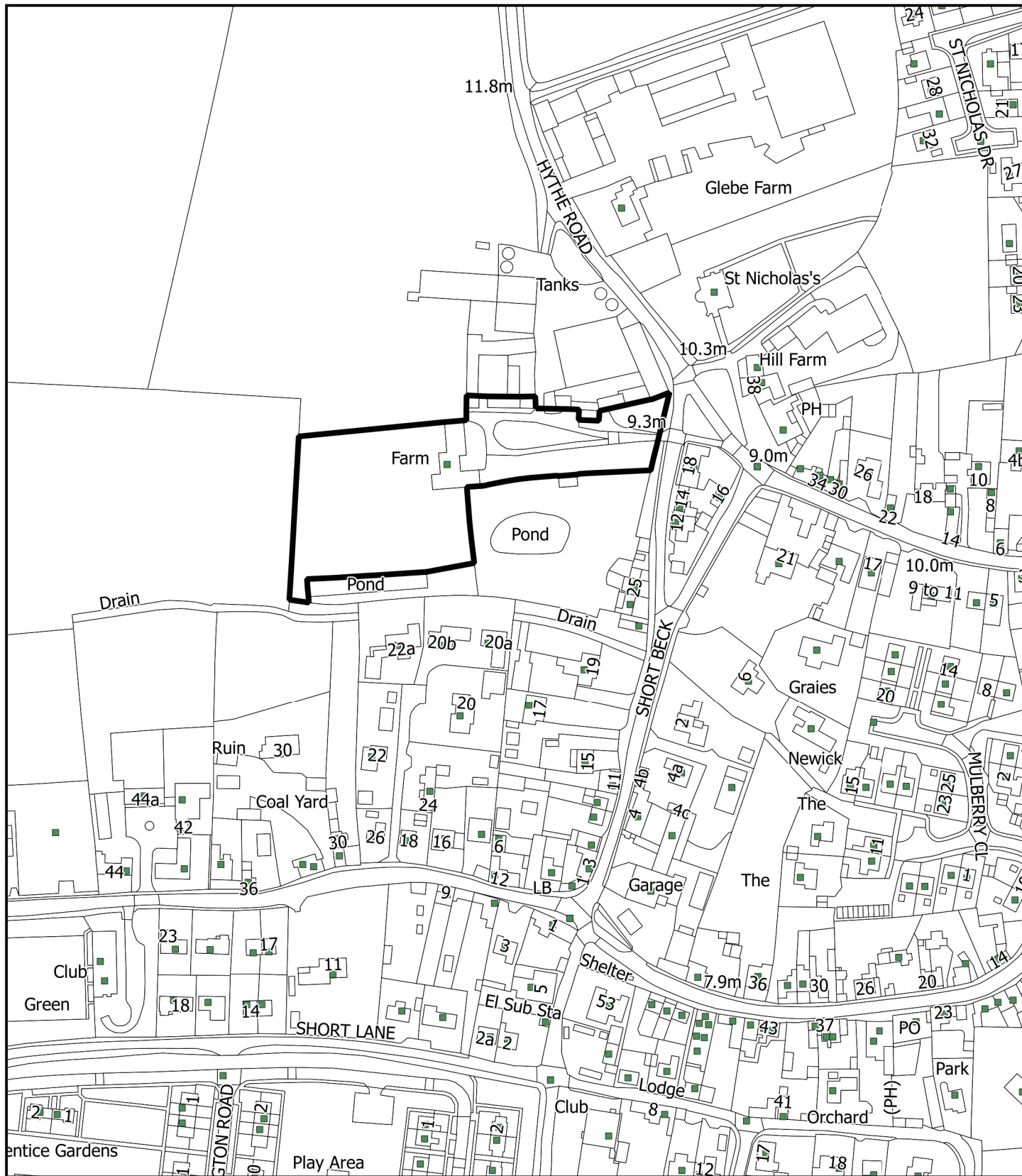
- 20 Condition Details required in accordance with Condition 1 shall include-

- An Arboricultural Method Statement and Tree Protection Plan.
- Details (height and specification) of acoustic fencing as boundary treatments between the access road and nos. 30 and 34 Downham Road.

- 20 Reason To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.

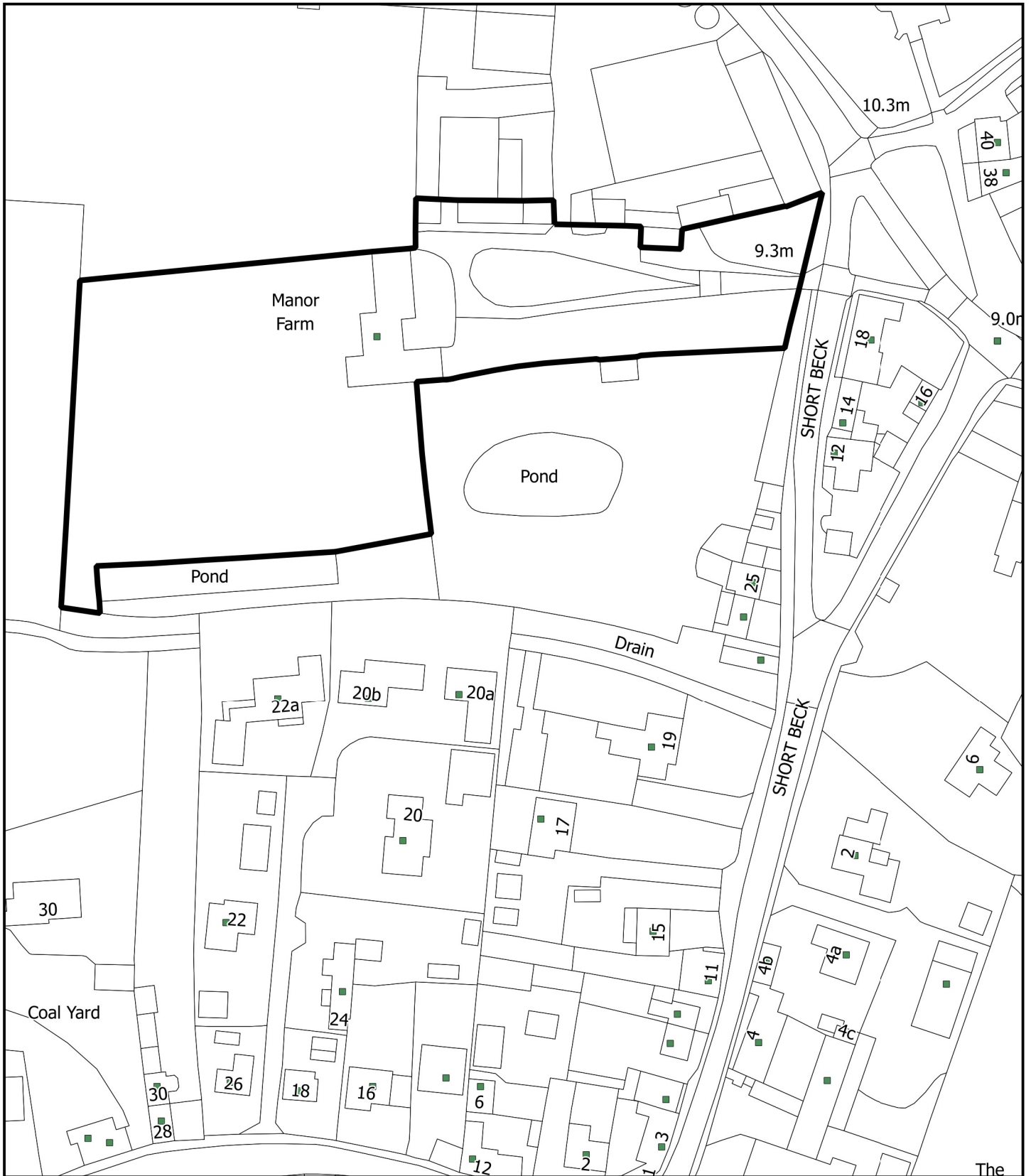
B) REFUSE if the Section 106 Agreement is not agreed within four months of the date of this resolution to approve.

21/00605/F Manor Farm 29 Short Beck



21/00605/F

Manor Farm 29 Short Beck



Parish:	Feltwell	
Proposal:	Proposed Timber Cart Lodge to provide secure undercover parking	
Location:	Manor Farm 29 Short Beck Feltwell Thetford	
Applicant:	Mr Storey	
Case No:	21/00605/F (Full Application)	
Case Officer:	Lucy Smith	Date for Determination: 22 June 2021

Reason for Referral to Planning Committee – The applicant is a direct relative of Cllr M. Storey

Neighbourhood Plan: No

Case Summary

The application is for the construction of a two-bay cart lodge adjacent to existing outbuildings to the front of Manor Farm, 29 Short Beck, Feltwell.

Manor Farm is located to the west of Short Beck, approximately 30m south of the junction of Short Beck with Hythe Road and Hill Street. The access to the application site is opposite Grade II Listed No. 14 Short Beck.

Key Issues

- Principle of development
- Impact on form and character
- Impact on neighbours
- Other material considerations

Recommendation

APPROVE

THE APPLICATION

The application is for the construction of a two-bay cart lodge adjacent to existing outbuildings to the front of Manor Farm, 29 Short Beck, Feltwell.

Manor Farm is located to the west of Short Beck, approximately 30m south of the junction of Short Beck with Hythe Road and Hill Street. The access to the application site is opposite Grade II Listed No. 14 Short Beck.

Planning Committee
14 June 2021

SUPPORTING CASE

A supporting statement has been requested.

PLANNING HISTORY

21/00669/AG: AG Prior Notification - NOT REQD: 29/04/21 - Agricultural Prior Notification:
Proposed general purpose farm building - Manor Farm

RESPONSE TO CONSULTATION

Parish Council: NO OBJECTION

Highways Authority: NO OBJECTION - the proposal will not impact on highway safety

Historic Environment Service RECOMMENDED CONDITIONS due to potential archaeological remains on site

REPRESENTATIONS

A supporting statement has been requested.

LDF CORE STRATEGY POLICIES

CS08 - Sustainable Development

CS11 – Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)
National Design Guide 2019

PLANNING CONSIDERATIONS

The key issues are
Principle of Development
Impact on Form and Character
Impact on Neighbours
Other material considerations

Principle of Development

The proposal is for the construction of a timber clad cart lodge adjacent to a dwelling known as Manor Farm, 29 Short Beck, Feltwell. As an incidental outbuilding on land which is immediately adjacent to existing outbuildings and which is closely related to the main dwelling, the principle of development on site is considered acceptable.

Impact on Form and Character:

Manor Farm is a large detached dwelling set back from Short Beck behind existing boundary walls and vegetation. The proposed cart lodge is set back approximately 85m from the road frontage and will be largely obscured from view by existing boundary treatments and vegetation as well as the existing outbuildings to the east of the proposed structure.

A group of agricultural buildings, within the same ownership, are located to the north of the application site with an access onto Hythe Road and screen any viewpoint of the proposed structure from this direction.

The cart lodge measures 7.5m x 6.5m with a ridge height of approximately 4.4m and is proposed to be clad in timber boarding (stained black) with red clay pantiles and a central clock tower along the ridge. The cart lodge is proposed to be open sided on the south elevation with timber supports.

Overall, the proposed cart lodge is of limited scale and its position results in limited impact on the form and character of the wider street scene. Existing agricultural buildings to the north will screen the building from view on approach from Hythe Road.

The proposal is therefore considered to comply with Policies CS08 and DM15 of the Local Plan.

Impact on Neighbours

The application site is well distanced from surrounding residential properties and the structure is therefore considered unlikely to lead to any adverse impacts in terms of overbearing, overshadowing or loss of privacy. As an incidental outbuilding the proposal will not lead to an increase in noise and disturbance or any increase in the use of the access to Short Beck.

The proposal is therefore considered to comply with Policies CS08 and DM15 of the Local Plan.

Other Material Considerations

The access to the application site is directly opposite Grade II Listed No. 14 Short Beck. The proposal is considered to be sufficiently distanced and will not lead to harm to the significance of this heritage asset and is therefore in accordance with Policy CS12 of the Core Strategy.

The proposal has not drawn objections from the Local Highway Authority on highway safety grounds. As an incidental outbuilding providing parking spaces for two vehicles, the proposal is unlikely to lead to any adverse impact on highway safety and therefore complies with Policies CS08, CS11 and DM15 of the Local Plan.

The Historic Environment Service has recommended conditions due to the potential for heritage assets with archaeological interest (buried archaeological remains) on the site. As

their significance may be impacted as a result of the proposal, conditions are recommended to ensure that a scheme of investigation has been submitted to and approved in writing by the LPA prior to the commencement of development on site.

Crime and Disorder There are no known crime and disorder impacts associated with this proposal.

CONCLUSION

The application is for a cart lodge of a scale and appearance which is unlikely to lead to any significant impact on the surrounding street scene or the amenity of adjoining properties.

The application is considered to comply with Policies CS08, CS11 and CS12 of the Core Strategy (2011) and Policy DM15 of the SADMPP (2016) and is therefore recommended for approval subject to the following conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:

Elevations - Sheet 1 of 1 dated 19/03/21
Location Plan - received 21st April 2021
Site Plan - received 21st April 2021
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: No development shall take place until an archaeological written scheme of investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions; and 1) The programme and methodology of site investigation and recording, 2) The programme for post investigation assessment, 3) Provision to be made for analysis of the site investigation and recording, 4) Provision to be made for publication and dissemination of the analysis and records of the site investigation, 5) Provision to be made for archive deposition of the analysis and records of the site investigation and 6) Nomination of a competent person or persons/organization to undertake the works set out within the written scheme of investigation.
- 3 Reason: In the interests of protecting potential heritage assets in accordance with the National Planning Policy Framework (2018) paragraphs 188 and 199.
- 4 Condition: No development shall take place other than in accordance with the written scheme of investigation approved under condition (3).

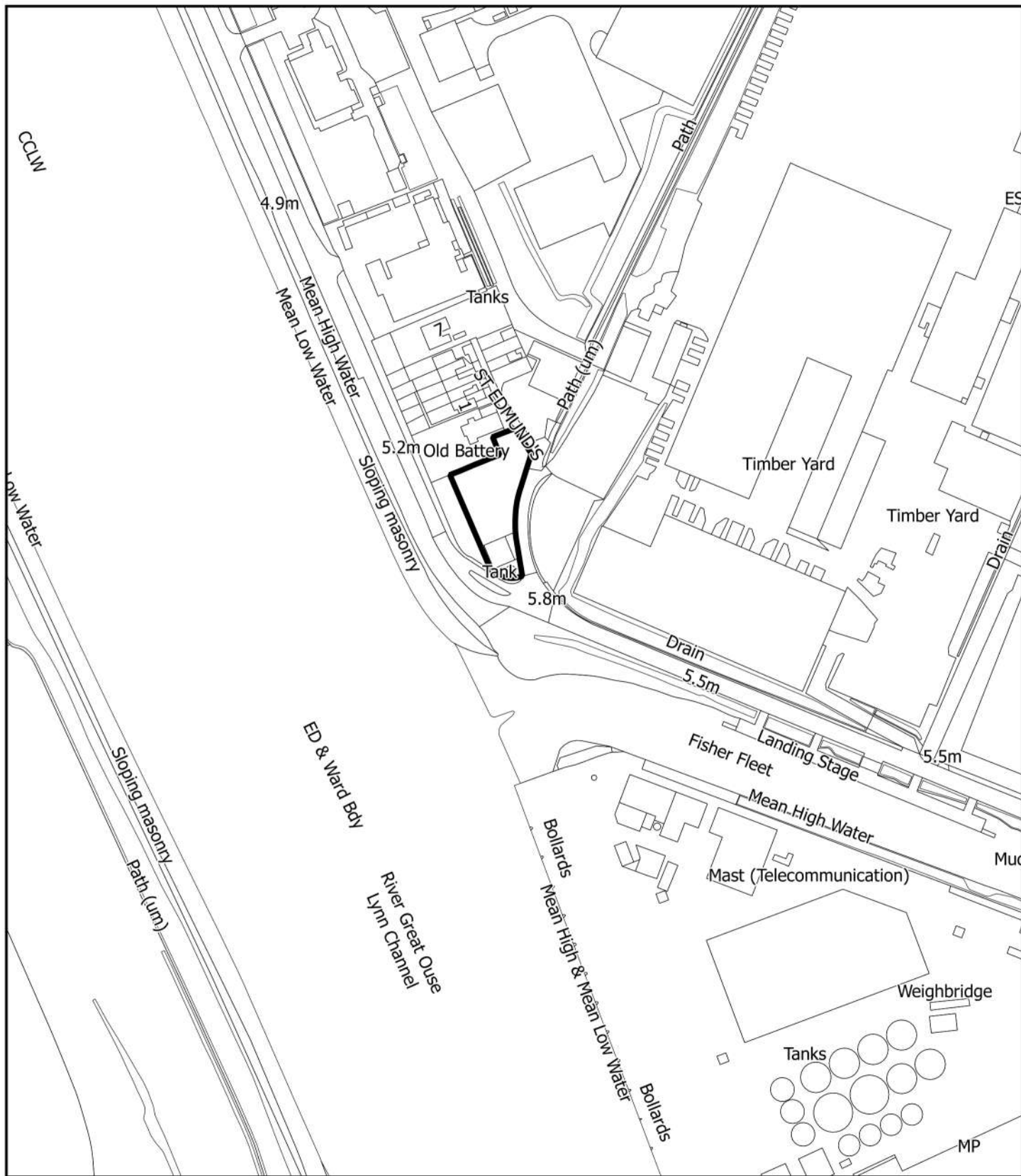
- 4 Reason: For the avoidance of doubt and in the interests of protecting potential heritage assets in accordance with the National Planning Policy Framework (2018) paragraphs 188 and 199.
- 5 Condition: The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the archaeological written scheme of investigation approved under condition (3) and the provision to be made for analysis, publication and dissemination of results and archive deposition has been secured.

In this instance the programme of archaeological mitigatory work will comprise the monitoring of groundworks for the development under archaeological supervision and control.

- 5 Reason: For the avoidance of doubt and in the interests of protecting potential heritage assets in accordance with the National Planning Policy Framework (2018) paragraphs 188 and 199.

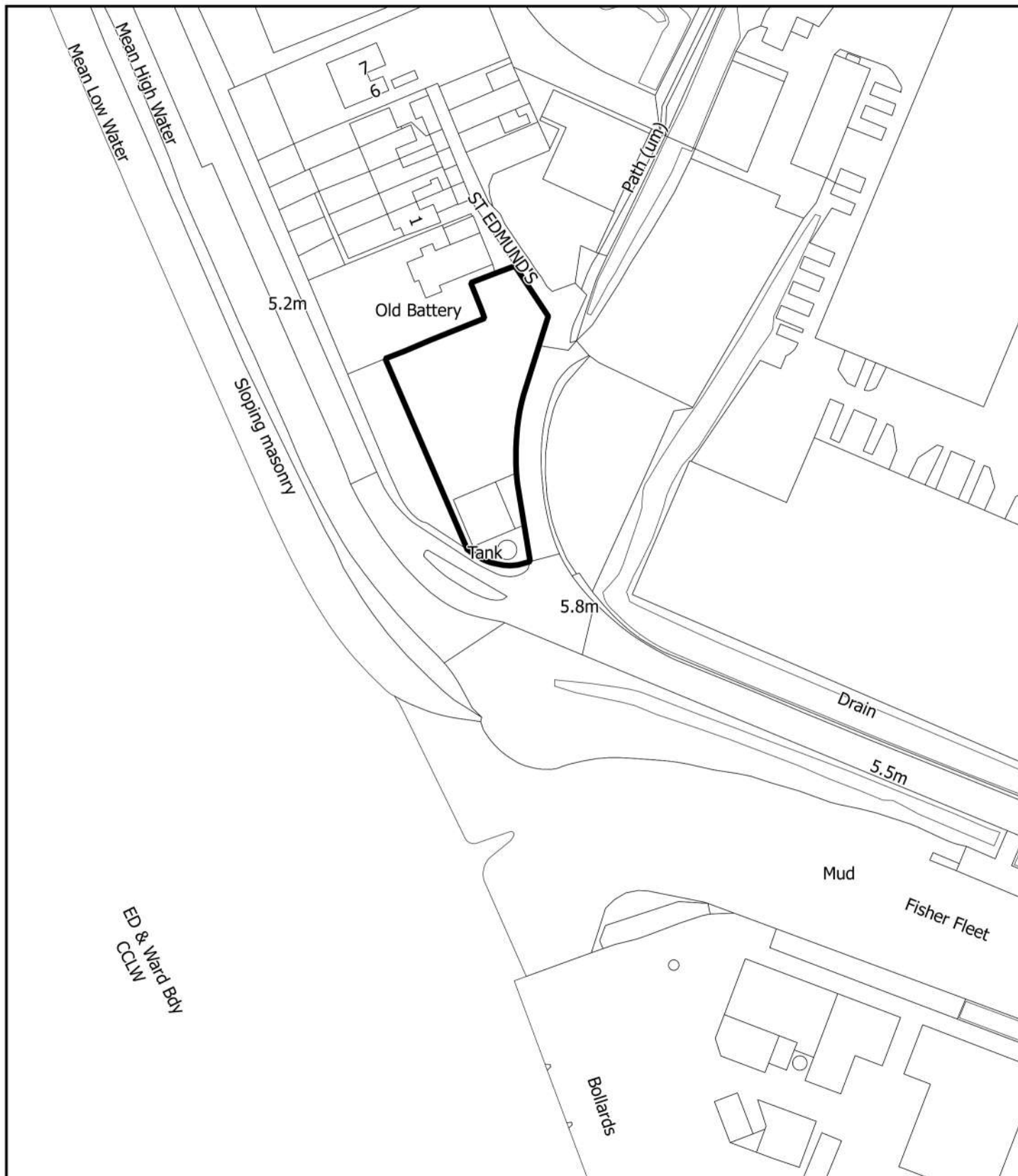
21/00630/F

Land South of Old Battery House Cross Bank Road



21/00630/F

Land South of Old Battery House Cross Bank Road



Parish:	King's Lynn	
Proposal:	END EXTENSION TO EXISTING WORKSHOP BUILDING	
Location:	Land South of Old Battery House Cross Bank Road King's Lynn Norfolk	
Applicant:	MR N LAKE	
Case No:	21/00630/F (Full Application)	
Case Officer:	Mr C Fry	Date for Determination: 26 May 2021

Reason for Referral to Planning Committee – Called in by Cllr Ben Jones

Neighbourhood Plan: No

Case Summary

The application site (0.12ha) comprises a storage yard and workshop enclosed with iron mesh fencing and workshop building, to the North of Kings Lynn Town Centre.

Access to the site is via Cross Bank Road.

The site is contained within an area associated with the port and is used as a workshop for the repair of boats and any equipment used in association with the shellfish business.

Grade II listed residential buildings are adjacent to the site.

The application seeks consent for an extension to the existing workshop on the site.

Key Issues

1. Principle of Development and Planning History
2. Impact upon Designated Heritage Assets
3. Impact upon Neighbour Amenity
4. Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application seeks consent for single storey a single storey extension to the existing workshop on the site. The exiting workshop and site is used in association with welding and the restoration of shellfish boats and the fixing of machines in association with John Lake Shellfish.

The existing workshop which is in the southern corner of the site scales 11m (w) x 5.35m (h) x 12.1m (l) constructed from metal box profile sheeting in Grey with blue trim.

3m high mesh fencing encloses three sides of the site. Established dense hedging encloses the northern boundary. A TPO tree is located on the north eastern boundary of the site.

Other buildings in the vicinity of the site are portal framed industrial buildings associated with the port operations.

The extension projects from the northern elevation of the building scaling 11m (w) x 4m(d) x 5.35m (h). It will be constructed from materials that matches the existing.

SUPPORTING CASE

The application has been supported by a Design and Access Statement. A summary of which is provided below:

- The site contains a full hard surface yard and a single portal framed steel building used for repairs and fabrication
- The extension will provide an extra 44m² of enclosed workshop space
- The extension will tie into the same eaves and apex height with materials to match existing
- No new access is required, and there is no intention to increase vehicle movements. The extension is required because of the Covid-19 pandemic to enable the business to carry out its own repairs and small fabrication
- Flood Zone 3 and in line with standing advice floor levels will match the existing workshop floor level.

The agent has also provided a short supporting statement

The planning application was submitted to extend and existing portal framed building by one bay. The existing Workshop serves John Lake Shellfish for its factory maintenance and repairs together with repairs and servicing of the 10 boats that the company uses.

Currently the workshop engineers weld mainly externally of the workshop as the workshop space does not allow for covered welded always inside.

The extension would allow the engineers to carry this work inside the building in a more controlled and safer environment.

By providing more space within the workshop it would reduce any arc light created or noise generated by the process because the works would be carried out within the building rather than outdoors.

The proposed extension is to a well-established workshop owned by John Lake Shellfish for many years and employs local engineers and has 1 current trainee. The Workshop is run generally between 7am and 4.30pm with exceptions when a breakdown happens.

John Lake Shellfish exports 95% of its sales. The factory processes the live shellfish by cooking and freezing. This work is carried out on a 24/7 basis. Processing times are often determined by tides, fishery opening times and transport.

As the site of the Workshop and the Factory and boats are all located at the Kings Lynn docks, they are all local to each other and working alongside many other similar fishermen and processors.

In our opinion the application for this extension could only benefit neighbours by more works being able to be carried out internally rather than outside of the structure.

PLANNING HISTORY

2/02/1688/O: Application Withdrawn: 15/03/04 - Site for residential development

2/87/0946/F Construction of a shrimp processing factory with service area and new carpark – permitted 04.08.87

2/85/3194/F – Renewal of planning permission for a cockle boiling shed, store and garage permitted 14.11.85

2/75/2634/F – Retention of cockle boiling shed packing shed and garage permitted 1.12.75

RESPONSE TO CONSULTATION

Parish Council: N/A

NCC Highways: NO OBJECTION

NCC PROW Officer: NO OBJECTION

Arboricultural Officer: NO OBJECTION

Environmental Health & Housing – Environmental Quality: NO OBJECTION

Environmental Health & Housing – Community Safety Neighbourhood and Nuisance: NO OBJECTION SUBJECT TO CONDITION for the roller shutter door on the north elevation of the extension to be closed at all times other than for access and egress to/from the workshop.

Natural England: NO OBJECTION

Healthy and Safety Executive; comments that they do not advise against the granting of planning permission

REPRESENTATIONS

TWO letters of objection on the following grounds: -

- Noise disturbances emanating from the existing workshop are a cause for ongoing disturbance preventing peaceful enjoyment within this neighbouring Residential property impacting on sleep
- When the door is open the noise from inside is very audible inside The Old Battery House
- Existing noise ongoing throughout the working week, weekends and inc. bank holidays is not acceptable.
- What measures will be put in place to mitigate a possible increase in work-based activity both inside and outside this workshop existing or otherwise.
- Soldi close board fencing upon the boundary should be considered out of necessity to further mitigate current machine and mechanical noise emanating upon this site and related workshop.
- Noise detrimentally affects the market value of The Old Battery House.
- Not everyone has been served with a notice drawing attention to the application.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS03 - King's Lynn Area

CS08 - Sustainable Development

CS10 - The Economy

CS11 – Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM15 – Environment, Design and Amenity

DM2 – Development Boundaries

DM21 - Sites in Areas of Flood Risk

Policy E1.1 – King’s Lynn Town Centre

Policy E1.2A - King's Lynn Port

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)
National Design Guide 2019

PLANNING CONSIDERATIONS

The main planning considerations regarding the application are:

1. Principle of Development and Planning History
2. Impact upon Designated Heritage Assets
3. Impact upon Neighbour Amenity
4. Other Material Considerations

Planning History Principle of Development

The site contains a workshop and hard standing area which is used as part of the shellfish operations at the port. The building was granted planning permission in 1987 to be used as a shrimp processing factory. Overtime, the building has become used to fix and mend boats and machines used in association with the shellfish business.

The operations of the site helps to support the operations of the Shellfish industry at the port and in accordance with Policy CS01 spatial strategy, Cs03 King Lynn area, CS10 Economy the LPA will look to support the local economy through supporting proposals that help to sustain or promote employment opportunities subject to other material considerations.

Impact upon Designated Heritage Assets

The site is to the south of grade II listed Old Battery House (residential neighbour) and beyond that are the grade II listed Coastgaurd Cottages. It is a statutory duty for Local Planning Authorities to pay special regard to the desirability of preserving any listed building/s or its setting under s.66 of Town and Country Planning Listed Building and Conservation Areas Act 1990.

The site is clearly separated from the workers cottages by virtue of the established hedging and screening, and visually forms part of a group of industrial buildings that are associated with the port.

The proposal seeks to extend the workshop on the site, by 11m in width and 4m (d) and 5.35m (h). The extension will use materials that match the existing.

Whilst projecting 4m towards the Old Battery House, the Conservation Officer states that the proposal will have no further impact on the nearby listed buildings compared to what is currently on the site.

Even if it could be said that there was harm caused to the setting of the Grade II Listed Old Battery House, it would be considered less than substantial. In cases where less than

substantial harm occurs, such level of harm should be weighed against the public benefit the proposal brings, including its optimal viable use (paragraph 196 of the NPPF).

There is no material impact upon the Coastguard Cottages, which are beyond the Old Battery House.

In this case, when weighing the harm against the public benefit, it is your officer's opinion that the level of harm to the setting of the grade II listed building is outweighed by the proposal helping to expand current operations of the site, in turn helping to sustain jobs.

Impact upon Neighbour Amenity

The scale and siting of the extension to the shed does not cause any overbearing, overshadowing, or overlooking impact upon the Old Battery House.

Third party representation raises issue over the potential for increased noisy activities that could occur, as a result of extending the workshop.

The operations of the site have been established over time and there have been complaints raised to the council relating to noise from emanating from the site.

The workshop operates on a normal day to day basis from 7am to 4pm in the afternoon, unless there is a breakdown at the Shellfish factory or one of boats breaks down. Out of hours calls can occur, where the workshop is needed to operate if essential machinery used in the factory needs to be repaired.

The Environmental Health team have commented that the extension could lead to the expansion of the sites operation, thus leading to more noise complaints. Rather than object to the scheme, Environmental Health team considers that provided the roller shutter door is always closed, except for access and egress the proposal would not cause any detrimental impact upon the adjacent residential neighbours.

It should be noted that there is an existing roller shutter door with no restrictions on its opening. Albeit the proposal will involve the provision of a roller shutter door, 4m further towards the neighbour at the Old Battery House, it is your officer's opinion that the proposal would fail to meet the tests of required to impose a planning condition.

To impose a condition on a planning permission the condition must meet the following tests.

- Necessary
- Relevant to planning
- Relevant to the development to be permitted
- Enforceable
- Precise and
- Reasonable in all other aspects.

In this case, it is your officer's opinion, with the existing door not subject to a condition in regard to its opening, it would be unreasonable to require the new door to be shut at all times for access and egress reasons. This especially considering that the new door will still be a good separation distance from the neighbour at 40m from the flank elevation of the Old Battery House, compared to the existing door which is 44m to the side elevation of this neighbour.

Given there are the statutory nuisance provisions that can still be utilised in the event that there is a problem with noise, and with no current planning restrictions in terms of the

operations of the site, it is considered it would be unreasonable to refuse this small scale extension on neighbour amenity grounds, or indeed restrict its use.

Other Material Considerations

The site lies within flood zone 3. The EA standing advice for applications of this scale and nature (less vulnerable in flood risk terms) is to ensure that floor levels are set no lower than existing. A condition will be imposed to ensure that this is to be the case.

Whilst there are no ecological features on the site that would merit a protected species report, the site is adjacent to the Great River Ouse, and Herring Gulls are known to fly in land along the route of the river. However, given the nature of the proposal, it is not considered that the Herring Gull species will be affected. It is worth noting that Natural England raise no objection regarding the proposal and its impact upon designated sites.

NCC highways team raise no objections to the proposal.

At the time of writing the report, no response has been received from the Public Rights of Way team. It is not considered to be necessary to await their comments, as the proposal does not materially affect the use of the byway.

The Arboricultural officer raises no objection to the proposal and its impact upon a TPO tree which is on the north eastern boundary of the site.

Environmental Quality have no comments to make regarding contaminated land.

CONCLUSION

The principle of development, to support industrial/economic activities, is supported by national and local policy. The main issues to be considered are the specific details of the scheme, especially in this case its impact on neighbours.

It should be noted that the building and site has no conditions imposed to control its use or hours of operation and has been operating for a significant amount of time. Thus, to refuse the application or indeed, to impose a condition on this small scale development, is considered to be unreasonable, particularly given that the remaining distance between the extension and the nearest neighbour is considered to be acceptable in its own right.

The use of the statutory nuisance provisions remains an option if noise is unreasonable in the future.

The Conservation Officer raises no objection to the proposal and its impact upon the setting of the Grade II listed buildings.

Given the above it is considered that the proposal be approved subject to the following conditions and reasons

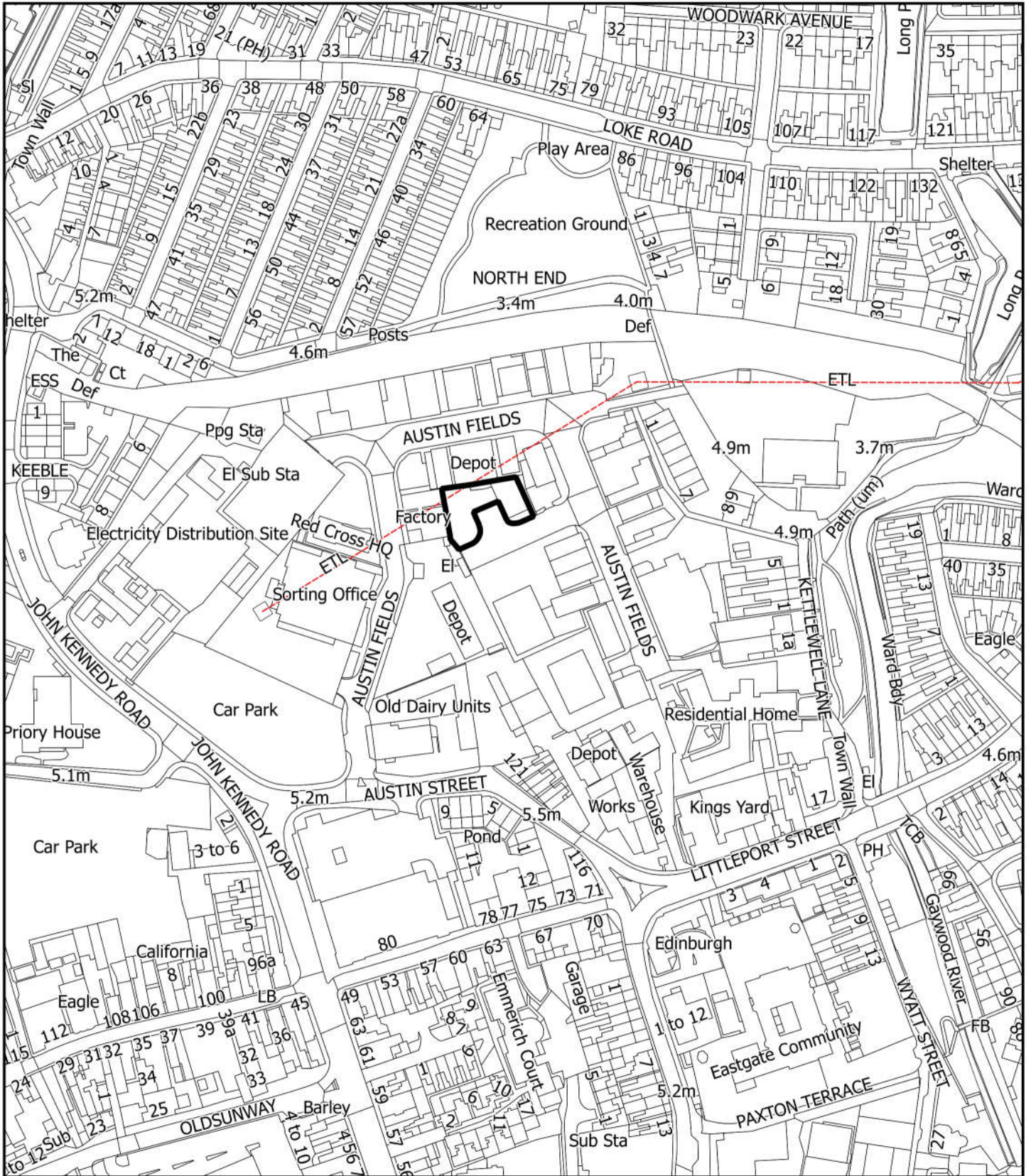
RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: For the avoidance of doubt and in the interests of proper planning.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:
 - 3558/21/3 Proposed Workshop with extension, elevations and plans received 31st March 2021
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: The floor level of the extension will be set no lower than existing floor level of the workshop building
- 3 Reason: In order to prevent an increased risk of flooding in accordance with the principles of the NPPF.

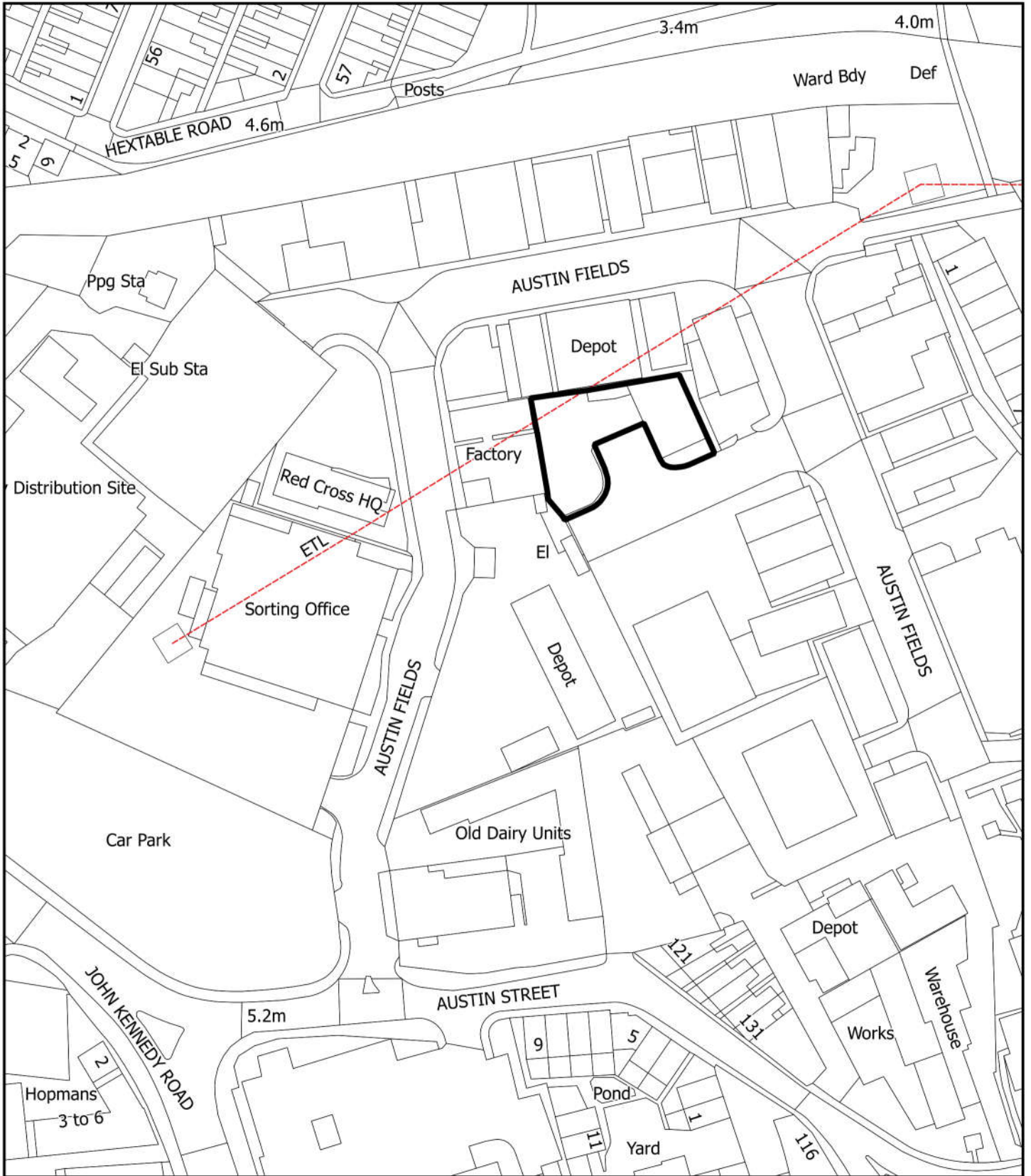
21/00680/F

24-26 Austin Fields Austin Fields Industrial Estate



21/00680/F

24-26 Austin Fields Austin Fields Industrial Estate



Parish:	King's Lynn	
Proposal:	Proposed Extension to Industrial Unit	
Location:	24 - 26 Austin Fields Austin Fields Industrial Estate King's Lynn Norfolk	
Applicant:	Client of Holt Architectural	
Case No:	21/00680/F (Full Application)	
Case Officer:	Mr C Fry	Date for Determination: 3 June 2021

Reason for Referral to Planning Committee – Applicant is partner of a staff member involved in Planning Process.

Neighbourhood Plan: No

Case Summary

The application site is located on the Austin Fields Industrial Area in Kings Lynn.

The site contains a single storey industrial unit and a forecourt with shipping containers. The shipping containers are located against the western boundary.

The site is enclosed with palisade fencing.

The proposal seeks consent for single storey extension projecting from the western elevation of the existing unit. The extension will have solar panels on it roof.

Key Issues

1. Principle of Development
2. Impact upon Visual Amenity
3. Impact upon Neighbour Amenity
4. Highway Safety
5. Flood Risk
6. Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application site comprises an existing industrial unit, with hardstanding forecourt and storage shipping containers. The forecourt and storage containers are located behind palisade fencing.

The proposal seeks consent for an extension to an existing B8 industrial unit at Austin Fields, Kings Lynn scaling 22.5m (l) x 6m (w)x 4.9m (h) and will match the existing materials and appearance of the industrial unit.

To facilitate the extension, the shipping containers on the site will be double stacked. The double stacking of shipping containers also allows for some off-road parking.

SUPPORTING CASE

None submitted.

PLANNING HISTORY

15/01125/F: Application Permitted: 21/08/15 - Over-clad building and

2/94/0397/F: Application Permitted: 12/04/94 - Demolition of existing single storey part of building and creation of new access to premises

RESPONSE TO CONSULTATION

Parish Council: N/A

Environment Agency: The LPA need to consider the application in line with standing advice

NCC Highways: NO OBJECTION

Environmental Quality: NO OBJECTION subject to condition

Environmental Health Community Safety Neighbourhood and Nuisance: comment received at the time of writing the report.

Historic Environment Service: NO OBJECTION

REPRESENTATIONS

NONE received

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

Planning Committee
14 June 2021

CS03 - King's Lynn Area

CS08 - Sustainable Development

CS10 - The Economy

CS11 - Transport

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM15 – Environment, Design and Amenity

DM2 – Development Boundaries

DM21 - Sites in Areas of Flood Risk

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)
National Design Guide 2019

PLANNING CONSIDERATIONS

The main planning considerations relating to the application are-

1. Principle of Development
2. Impact upon Visual Amenity
3. Impact upon Neighbour Amenity
4. Highway Safety
5. Flood Risk
6. Other Material Considerations

Principle of Development

The site comprises of a single storey prefabricated building (B8 use) with hard standing. The hard-standing area contains shipping containers along the western boundary of the site. The site is enclosed on three boundaries by the existing industrial and business units at Austin fields, with the southern boundary enclosed with palisade fencing. Access via gated entrance from Austin Fields.

The proposal is to extend the existing building to enable an existing business to expand which would accord with Policy CS10 of Kings Lynn and West Norfolk Core Strategy, and other local and national policies seeking to support the economy.

Impact upon Visual Amenity

The extension to the unit, will project from the western elevation of the existing unit by 22.5m (l) x 6m (w) x 4.9m (h). It will be constructed from materials that match the existing building.

Planning Committee
14 June 2021

Other elements of the scheme include the double stacking of the containers to facilitate the extension and some off-road parking.

Given the scale of the extension, and its siting which is contained behind existing units on the western and northern boundary little of it will be seen from wider public area.

The double stacking of containers will only marginally protrude above the unit that flanks the western boundary and the solar panels will be located on the roof of the extension.

The proposal causes no detrimental visual amenity impact, given its location and siting.

Impact upon Neighbour Amenity

The scale, siting and nature of the proposal does not cause any detrimental impact upon the adjacent industrial units in terms of overbearing, overshadowing, or overlooking issues. The B8 use is already established on the site and with the site being contained in an industrial area, there is no detrimental impact upon adjacent neighbours in terms of noise.

Highway Safety

The Austin Fields area is known for having several cars parked on and off the highway. The proposal will help to provide an additional 3 parking spaces on the site.

In relation to other highway matters, the unit is served by small vans rather than Lorries and HGV's thus whilst the extension will remove some space for vehicle to turn, the smaller vehicles will be able to enter and leave in forward gear.

The highways officer has no objection to the application and does not require any conditions imposed.

Flood Risk

Foremost, there is no additional hardstanding because of this proposal, accordingly it was not considered necessary to consult the IDB.

The site is in Flood Zone 3 and Tidal Breach area. The Environment Agency standing advice applies to proposals of this nature, because the extension is less than 250m² in footprint. In this case, with the size of the extension and the use being "less vulnerable" in flood risk classification terms, provided the floor levels of the building are set no lower than existing, then the proposal is compatible. With the proposal involving casting a new floor on foundation pad, the floor levels will be above existing site level anyway. A condition is therefore not required to be imposed.

Whilst the Emergency planners' comments are noted, about the occupiers signing up to flood warnings direct, it is not considered reasonable to impose such a condition when the existing premises is not governed by such a condition. Nevertheless, an informative will be imposed to draw the applicant's attention to the Environment Agency flood warning system.

Other Material Considerations

The site is contained within an archaeologically sensitive area, with the proposal using foundation pads, with shallow foundations, then casting concrete floor, the Historic Environment Service have no objection to the proposal.

Planning Committee
14 June 2021

CONCLUSION

The proposed extension to the industrial unit at Austin Fields, is of a scale, siting, and appearance that is entirely appropriate. The highways officer has no objection to the proposal and there are no flood risk or other issues arising from the proposal.

The proposal is therefore recommended approval subject to the following conditions

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

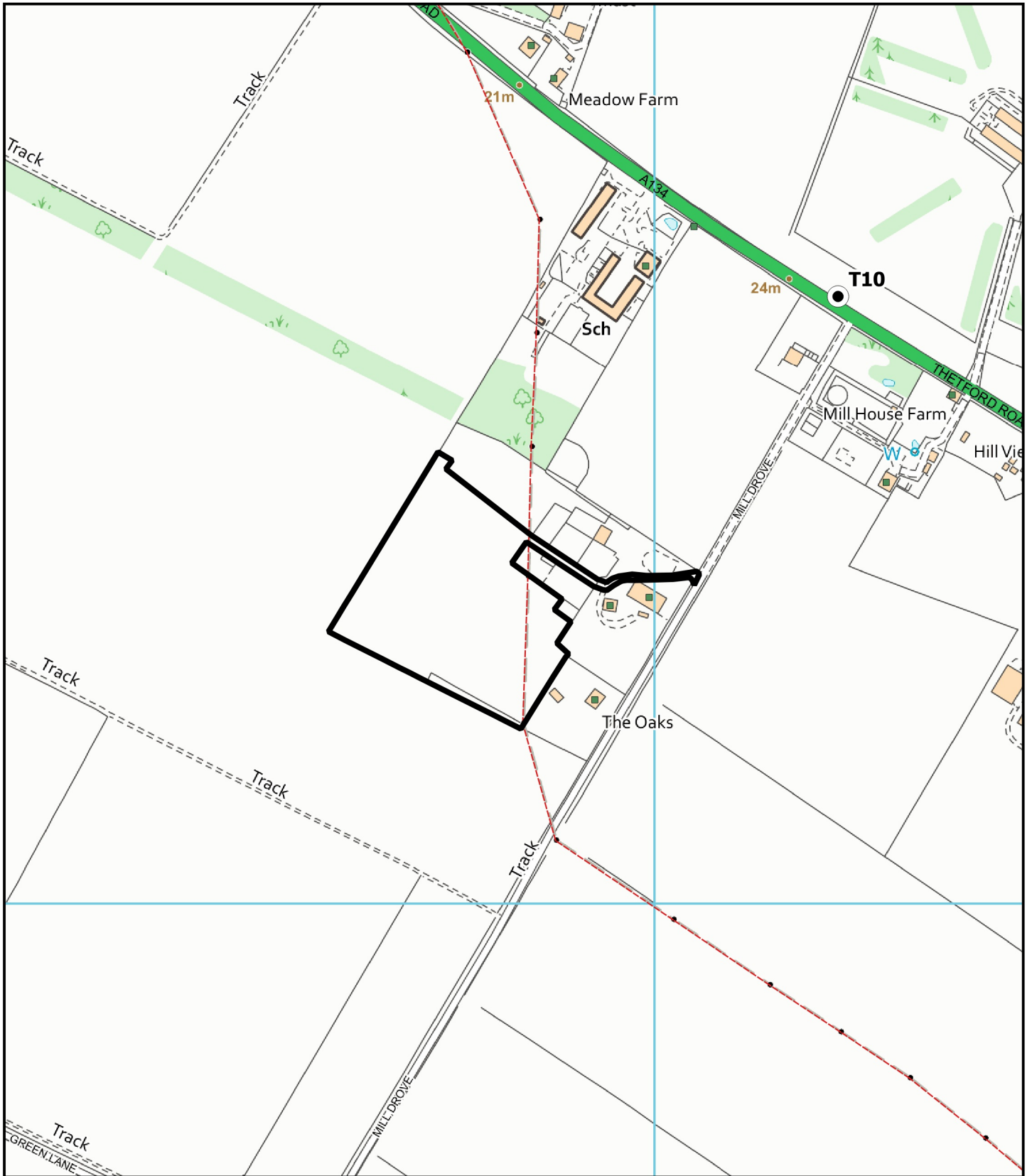
- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:
 - HAL21-24.26-200 dated 1st April 2021
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, and where remediation is necessary a remediation scheme must be prepared which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

- 3 Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

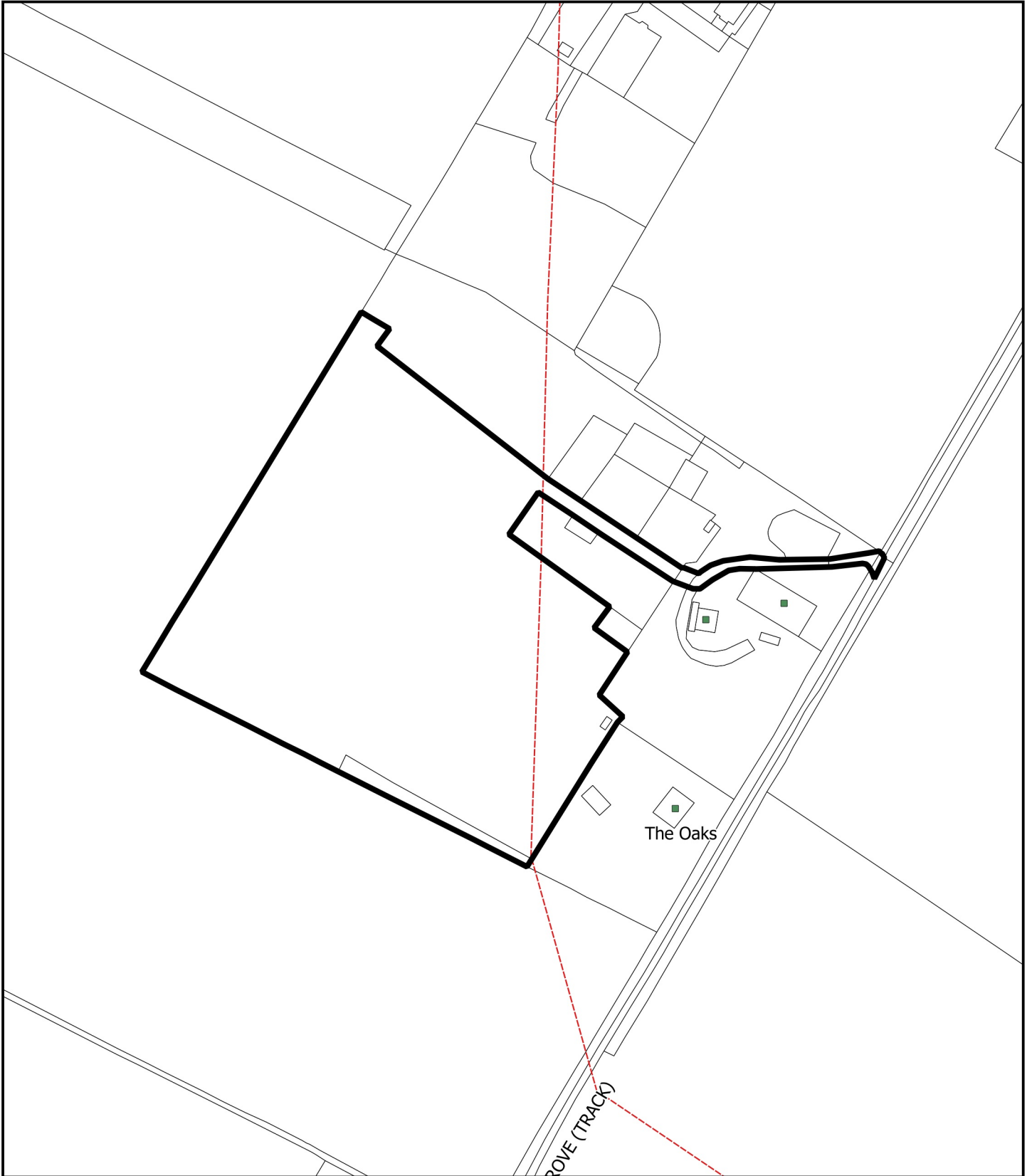
21/00289/CU

Oak Lodge Thetford Road Northwold



21/00289/CU

Oak Lodge Thetford Road Northwold



AGENDA ITEM NO: 8/2(d)

Parish:	Northwold	
Proposal:	Retrospective change of use of land for siting of up to 19 glamping pitches	
Location:	Oak Lodge Thetford Road Northwold Norfolk	
Applicant:	Miss C Neale	
Case No:	21/00289/CU (Change of Use Application)	
Case Officer:	Lorna Gilbert	Date for Determination: 6 May 2021 Extension of Time: 18 June 2021

Reason for Referral to Planning Committee – Cllr Tom Ryves called in the application to Committee.

Neighbourhood Plan: No

Case Summary

The application site is a grass field containing mature trees and hedgerows and is located on the north-western side of Mill Drove and to the south of Thetford Road (A134).

It is a retrospective application for the siting of up to 19 glamping pitches with associated toilet/wash area and coffee shop. The glamping bell tents hold between 4-6 persons and parking is available next to each tent. The campsite is open from April to October and the tents are taken down at the end of each season. There is existing water and electric at the site.

The Highway Authority objects to the application on highway safety grounds due to the intensification of the junction between Mill Drove and the A134.

Key Issues

Principle of development
Highways implications[H1]
Form and character
Impact upon neighbouring properties
Other material considerations

Recommendation

REFUSE

THE APPLICATION

The application site is located on the north-western side of Mill Drove, which is an unbound single track road that links to the A134. The site lies outside Northwold's development boundary.

The application site consists of a grassed field with mature trees and hedgerows. The application is retrospective for up to 19 glamping pitches and associated washing facilities and coffee shop. The glamping bell tents hold between 4-6 persons and parking is available next to each tent. The campsite is open from April to October and the tents are taken down at the end of each season. There is existing water and electric at the site.

SUPPORTING CASE

The applicants purchased Oak Lodge, Mill Drove in 2002 and given the location of the site they decided to develop a 'glamping' enterprise to include the siting of up to 19 glamping pitches with associated WC/shower and washing up facilities. It is noted that the submitted plan also labels a coffee shop on site. In 2016 the applicants started a business with 6 caravans and 6 glamping tents and they now have up to 19 pitches available.

A Transport Statement submitted does not consider that the level of traffic generated by the proposal would be significant or create any new accident problems on the local highway network.

The Highway Authority disagrees with the findings in the Transport Statement. They have recommended the application be refused on highway safety grounds because the proposal would lead to an intensification in the use of an access onto the A134, which is a busy principle route and would cause undue interference with the safe and free flow of traffic on this important traffic route.

PLANNING HISTORY

Recent and relevant planning history:

Reference Number: 12/00980/CU, Decision Date: 03-DEC-13 - Application Permitted - Continued use of land for storage and maintenance of big tops and equipment associated with the entertainment industry - Oak Lodge, Thetford Road, Northwold

Reference Number: 16/02177/CU - Application Withdrawn - Change of use of land for the siting of 6 caravans and 6 permanent (glamping) tents - Part Retrospective. - Oak Lodge, Thetford Road, Northwold

Reference Number: 19/00416/F, Decision Date: 06-JUN-19 - Application Permitted - Proposed replacement dwelling - Oak Lodge, Thetford Road, Northwold

RESPONSE TO CONSULTATION

Parish Council: NO OBJECTION

Support the application.

Highways Authority: OBJECTION

The A134 Thetford Road has not been downgraded in its importance and function since the previous application of 16/02177/CU. Whilst the speed restriction has been reduced from 60mph to 50mph, in the interest of highway safety, the speed of traffic still remains high and the highway safety impacts are a significant safety consideration and accord with the considerations of the NPPF.

Mill Drove itself does not form part of the adopted road network. There is mention of alternative access being provided onto the B1112 to the south. However, it is anticipated that the route to the south would be at a lower level i.e. less traffic, given the greater and slower distance to be travelled to gain access the wider road network. On average we would expect a camping facility to generate between minimum of 2 – 4 vehicle trips per day with the result that a minimum of 38 vehicle trips would be anticipated for the application which could rise to 76.

The site is said to support other permitted class uses. However this application does not appear to be linked or of the same level and therefore the traffic generated would be new and an intensification.

The matter that accidents have not been recorded in the last five years at the A134 junction with the application site is a matter of good fortune and or is likely to be a reflection of its existing low impact which would be altered should the application be approved.

The nation has been under associated Covid 19 restrictions through 2020 and therefore I would suggest that the applicants Trip data submitted would not be a typical representation of events. The statement suggests a view that the increases in slowing, stopping and turning would not have a significant impact on the A134. However, the Highway Authority remains of a different view and believe that an impact of between 38 - 76 would create conditions to the detriment of highway safety. It is of note that safety concerns for single dwellings (which have average trip levels of 6 movement per day) have been recommended for refusal, supported by the LPA and supported where challenges of appeal have been sort on roads of this nature.

The development of this site would ultimately result in increases in slowing stopping and turning movements on the A134 to the detriment of highway safety. Therefore, it is recommend that the application is refused as the proposal would lead to an intensification in the use of an access onto the A134, which is a busy principle route and would cause undue interference with the safe and free flow of traffic on this important traffic route. Contrary to Development Plan Policies CS11.

Environmental Health & Housing - Environmental Quality: NO OBJECTION

Contaminated Land - No comment.

Air Quality - No objection.

Natural England: NO COMMENT

Natural England has not assessed this application for impacts on protected species. The consultation documents indicate that this development includes an area of priority habitat, as listed on Section 41 of the Natural Environmental and Rural Communities (NERC) Act 2006.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning

authority to determine whether or not this application is consistent with national and local policies on the natural environment.

Public Rights of Way: NO OBJECTION

No objection in principle, however it is highlighted that access to the site will be via the Public Right of Way known as Northwold Restricted Byway 11. This does not offer any means of public vehicular access and it is not maintainable at the public expense to a vehicular standard. It would be expected that any damage caused to the Restricted Byway by the exercise of the private rights remains with the rights holders to repair. The full legal extent of this Restricted Byway must remain open and accessible for the duration of the development and subsequent occupation.

REPRESENTATIONS

Cllr Tom Ryves: "I would like to call this application in as Oak Lodge is a local business and the recent application for Wellington Lodge was agreed after debate. I think the issues of access need to be discussed in public."

One item of correspondence in **SUPPORT** of the proposal:

- They will continue to add to the local economy and it will help support our local business.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS10 - The Economy

CS11 - Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM11 – Touring and Permanent Holiday Sites

DM15 – Environment, Design and Amenity

DM2 – Development Boundaries

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)
National Design Guide 2019

PLANNING CONSIDERATIONS

The main issues for consideration in the determination of this application are as follows:

- Principle of development
- Highways implications
- Form and character
- Impact upon neighbouring properties
- Other material considerations

Principle of development

The application is within the countryside as defined by the King's Lynn & West Norfolk Borough Council Local Development Framework - Core Strategy 2011 (CS) and is located around 800 metres from Northwold's development boundary. Along with Methwold, Northwold is classed as a Key Rural Service Centre and has a good range of services and facilities. The application site is also around 550 metres from the edge of Brookville which is classified as a Smaller Village and Hamlet within the CS.

Paragraph 83 of the NPPF supports sustainable rural tourism which respect the character of the countryside. Paragraph 84 of the NPPF also advises that planning decisions should recognise that sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements, and in locations that are not well served by public transport. In these circumstances it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads and exploits any opportunities to make a location more sustainable (for example by improving the scope for access on foot, by cycling or by public transport). The use of previously developed land, and sites that are physically well-related to existing settlements, should be encouraged where suitable opportunities exist.

Policy CS10 of the CS recognises that tourism industries are key elements of the economic and social vibrancy of the borough, and contribute to the regeneration and growth of the area. It further advises that the Council will promote opportunities to improve and enhance the visitor economy by supporting tourism opportunities throughout the borough and in particular supporting smaller scale tourism opportunities in rural areas to sustain the local economy providing these are in sustainable locations and are not detrimental to our valuable natural environment. The Council will permit the development of new tourism accommodation in rural areas subject to the following criteria being met:

- It should be located in or adjacent to our villages and towns;
- It should be of a high standard of design in line with national guidance;
- Will not be detrimental to the landscape;
- Mechanisms will be in place to permanently retain the tourism related use.

The proposal would not be located within or adjacent to the nearby villages of Northwold or Brookville. Additionally, there is no footpath or cycle path along Mill Drove or the adjoining section of the A134 that leads into Northwold. Although there is a footpath on The Avenue which joins Mill Drove to the south, it would have to be reached via Mill Drove which has no

footway. Furthermore, this leads to Brookville which does not offer everyday services and facilities. Therefore, it is difficult to conclude that this is a sustainable location, as visitors would rely heavily on private motor vehicles. However, it should be balanced against the rural nature of the location set within open countryside which would appeal to tourists wishing to escape from urban areas. The pitches are in the form of bell tents with associated washing facilities. The site operates between April and October and the tents are taken down at the end of the season, consequently the tents themselves are temporary structures which would help to lessen their visual impact upon the landscape, although this will be considered later in the report.

Policy DM11 of the SADMPP refers to proposals for new holiday sites not normally being permitted unless:

- The proposal is supported by a business plan demonstrating how the site will be managed and how it will support tourism or tourist related uses in the area;
- The proposal demonstrates a high standard of design in terms of layout, screening and landscaping ensuring minimal adverse impact on visual amenity and the historical and natural environmental qualities of the surrounding landscape and surroundings; and
- The site can be safely accessed;
- It is in accordance with national policies on flood risk;
- The site is not within the Coastal Hazard Zone indicated on the Policies Map, or within areas identified as tidal defence breach Hazard Zone in the Borough Council's Strategic Flood Risk Assessment and the Environment Agency's mapping;

Proposals for uses adversely affecting Sites of Special Scientific Interest (SSSIs) or European Sites will be refused permission.

A business plan has been provided which demonstrates the profitability of the business. It argues it is of benefit to the local economy with customers using local shops, pubs and attractions and that the applicant promotes local things to do. They also provide locally made charcoal. Furthermore, tents and tent furnishings are kitted out from local shops. During the glamping season part of the site is preserved for low lying wild flowers and nest boxes provided. The tents are well spaced out across the site and will be taken down part of the year when the site is rested. Site access will be considered later in the report. The site is within flood zone 1, an area with a low probability of flooding. Although the site is within a SSSI Impact Risk Zone, Natural England envisage that the proposal is unlikely to result in significant impacts on statutory designated nature conservation sites or landscapes.

Consequently, on balance the principle of the change of use to a glamping site as proposed, is considered acceptable providing it meets all necessary material considerations and relevant planning policies considered below.

Highway implications

Paragraph 84 of the NPPF refers to local businesses not having an unacceptable impact on local roads. In reference to new holiday sites, Policy DM11 of the SADMPP will not normally be permitted unless the site can be safely accessed.

According to Policy CS11 of the CS, development proposals should demonstrate that they have been designed to:

- Reduce the need to travel.

- Promote sustainable forms of transport appropriate to their particular location and related to the uses and users of the development. In order of preference this should consider:
 - Walking
 - Cycling
 - Public transport
 - Private car (development proposals which are likely to have significant transport implications will need to be accompanied by a transport assessment and travel plan to show how car based travel can be minimised)
 - Provide for safe and convenient access for all modes.

As it has been established that visitors are likely to be heavily reliant on private transport, it is important that private vehicles do not cause highway safety issues. The Highway Authority anticipates a camping facility would generate a minimum of 2-4 vehicle trips per day which would result in a minimum of 38 vehicle trips, which could rise to 76. There are two routes from the application site, both along Mill Drove which is a single track lane.

There is an alternative access from Mill Drove to the south which links to The Avenue and the B1112 Methwold Road, which has a 40mph speed limit. However, it is anticipated most vehicles would travel northwards towards the A134 as it is closest to the wider road network and Northwold has a greater range of services and facilities. According to data in the Transport Statement the Annual Average Daily Traffic recorded nearest the application site on the A134 is 5998 vehicles per day. This road has been reduced to a 50mph speed limit, is unlit and has no footway near the junction with Mill Drove.

The Highway Authority has objected to the proposal on the grounds that it would result in an increase in slowing, stopping and turning movements on the A134 which is a busy principle route, to the detriment to highway safety and would lead to an intensification in the use of an access on to this road.

The site has previously been in agricultural use, however it is considered the intensification of the site for up to 19 glamping tents would lead to more transport movements than its previous use.

Although there have been no accidents recorded in the last five years at the A134 junction with Mill Drove, it does not overcome the highway safety concerns that the proposal would be unsafe and could result in potential traffic accidents.

There is sufficient space on site to accommodate a suitable car parking provision for visitors.

Given the reliance on private vehicles for the change of use of the site to glamping, it is considered that it would lead to an intensification in the use of an access onto the A134, which is a busy principle route. Consequently, this would cause undue interference with the safe and free flow of traffic on this important traffic route and is contrary to Policy CS11 of the CS, Policy DM11 of the SADMPP and Paragraph 84 of the NPPF.

Form and character

The proposal comprises of up to 19 glamping tents spread across the site with an associated washing block and coffee shop. The application site is set back from Thetford Road (A134) and Methwold Road (B1112) with trees and hedgerows screening much of the site. A mature established tree belt and hedgerow limits the site's visibility from Mill Drove. Furthermore, the tents would be removed for around 5 months of the year when the campsite is not in operation. Consequently, the temporary nature of the tents, along with the

scale, appearance and position of the proposal would not have a significant effect on the rural character of this locality.

The proposal would comply with Policy CS06 of the CS and DM15 of the SADMPP insofar as form and character.

Neighbours' living conditions

The application site is in an isolated setting within the countryside surrounded by agricultural land and wooded areas. A school and house are located nearby, situated between the site and the A134. These buildings are separated from the application site by fields and vegetation. There are buildings, including in residential use, within the applicants ownership to the south-east of the glamping site. However, these are well screened by existing trees and hedgerows. Given the position of these nearest neighbours and the scale of the proposal, they would not experience harm in terms of loss of light, outlook or privacy. Car parking is provided on site and consequently there should be no additional car parking pressure on nearby roads.

The proposal would comply with Policy CS08 of the CS and Policy DM15 of the SADMPP in this regard.

Other material considerations

Access to the site is via a Public Right of Way (PROW) known as Northwold Restricted Byway 11. It does not offer public vehicular access and is not public maintained to a vehicular standard. Any damage caused to this PROW remains with the rights holders to repair. As this is a separate legal matter, it is recommended that an informative be imposed if the application was deemed to be acceptable.

There is no evidence that the site contains protected and priority species. The proposal is for a change of use and therefore does not involve the removal of existing trees or hedgerows. The applicant has incorporated some conservation measures such as an area for wild flowers and nest boxes and furthermore the site would be rested for part of the year. From the information provided, it is considered the proposal would be consistent with Section 41 of the NERC Act 2006 with respect to priority habitats.

Crime and disorder

The proposal would not give rise to any issues relating to crime and disorder.

CONCLUSION

Although the application has been considered acceptable with respect to the overall principle of the change of use, its form and character and neighbours living conditions, it however would result in the intensification of use of the access road and junction of Mill Drove and the A134, which is a principle route. On balance, it is therefore considered the proposal would result in harm to highway safety and would conflict with Policy CS11 of the CS, Policy DM11 of the SADMPP and Paragraph 84 of the NPPF.

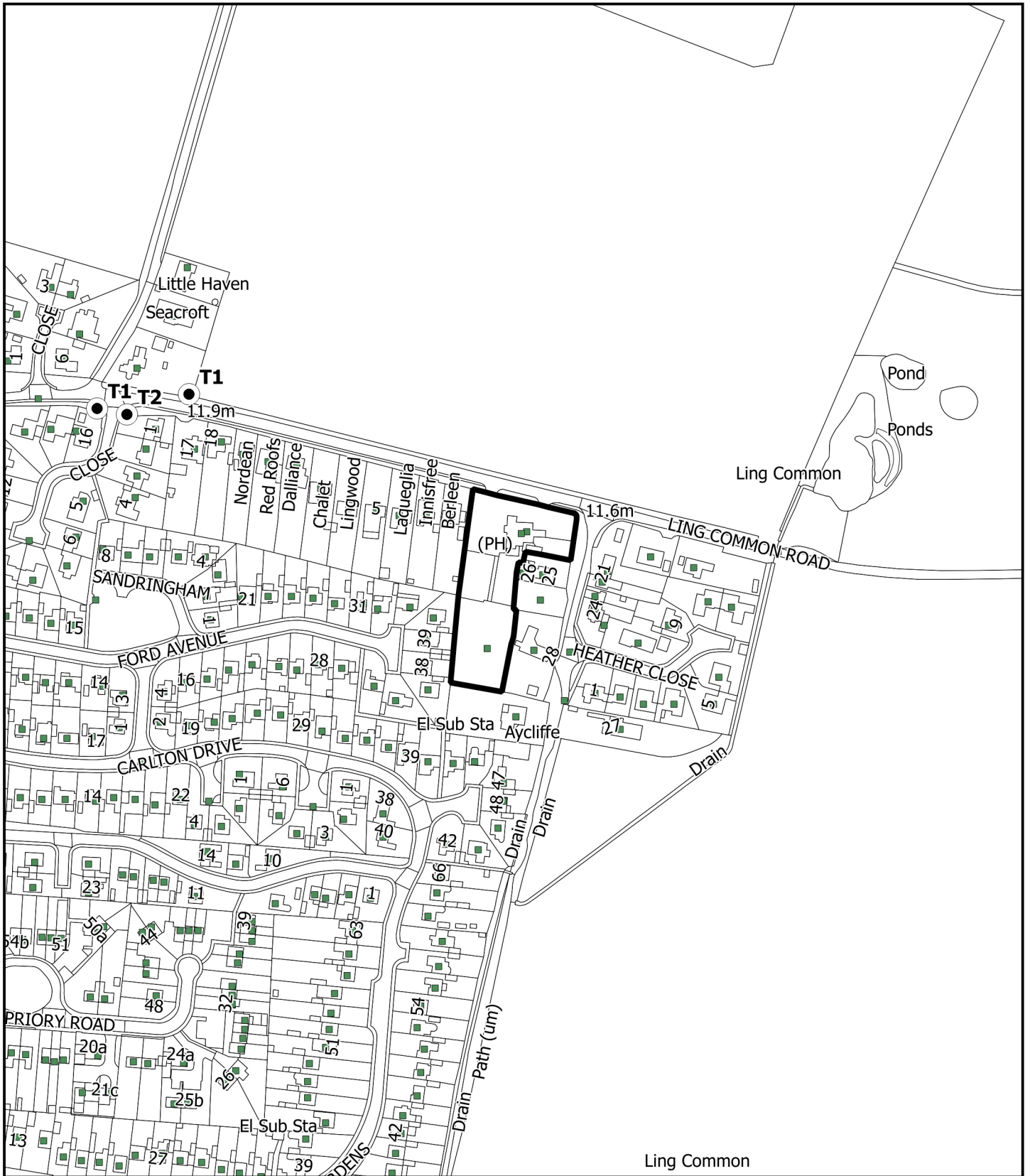
RECOMMENDATION:

REFUSE for the following reasons:

- 1 The proposal would lead to an intensification in the use of an access onto the A134, which is a busy principle route and would cause undue interference with the safe and free flow of traffic on this important traffic route. It would therefore be contrary to Policy CS11 of the King's Lynn & West Norfolk Borough Council Local Development Framework - Core Strategy (2011), Policy DM11 of the Site Allocations and Development Management Policies Plan (2016) and Paragraph 84 of the National Planning Policy Framework with respect to highway safety.

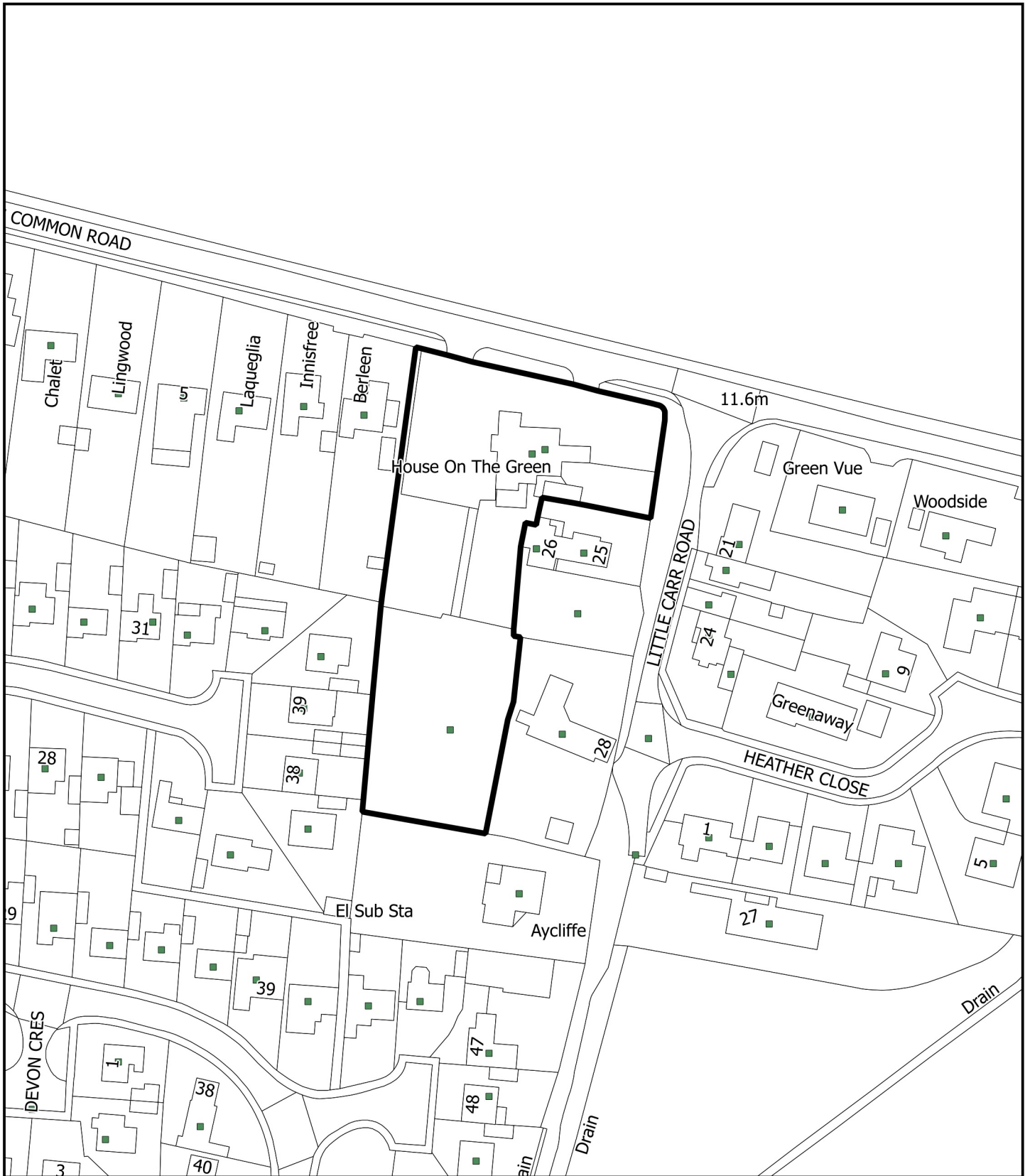
19/01622/F

The House on the Green Ling Common Road
North Wootton



19/01622/F

The House on the Green Ling Common Road
North Wootton



Parish:	North Wootton	
Proposal:	Proposed residential development	
Location:	The House On The Green Ling Common Road North Wootton King's Lynn	
Applicant:	WW Properties (East Anglia) Ltd	
Case No:	19/01622/F (Full Application)	
Case Officer:	Mrs K Lawty	Date for Determination: 26 November 2019 Extension of Time Expiry Date: 21 October 2021

Reason for Referral to Planning Committee – Parish Council objection and raised matters of wider concern

Neighbourhood Plan: No

Case Summary

The site lies on the southern side of Ling Common Lane in North Wootton. It is located within the northern part of the settlement boundary for King's Lynn and the development boundary runs along the northern side of Ling Common Lane at this point.

The boundary of the Area of Outstanding Natural Beauty also runs along the northern boundary of the site so that the site is not within the AONB but land to the north is.

The site currently consists of a one and a half storey detached building which was last used as a public house, known as the House on the Green Public House. The public house closed early in 2017, and the building and the site have not been in use since.

During the course of this planning application there have been several changes to the development proposal following public comment and discussions with planning officers.

This application now seeks full planning permission for the retention and refurbishment of the existing public house and proposed residential development to create 7 new houses to the southern of the site.

Key Issues

- Principle of development
- Impact on AONB
- Design, character and appearance
- Neighbour amenity
- Highways matters
- Trees
- Ecology
- Drainage
- Other matters

Recommendation

A) APPROVE subject to conditions and the satisfactory completion of the S106 Agreement;

B) REFUSE if the S106 is not completed with 4 months of the date of this resolution to approve due to a failure to secure affordable housing.

THE APPLICATION

The site lies on the southern side of Ling Common Lane in North Wootton and is within the development boundary. The boundary of the Area of Outstanding Natural Beauty runs along the northern boundary of the site so that the site is not within the AONB but land to the north is.

The site currently consists of a one and a half storey detached building which is the House On The Green Public House. The public house closed in late 2016, with a short resurrected use in 2018, whereupon the building and the site have not been in use since. The site has witnessed some vandalism since it has been unoccupied.

The main building lies centrally within the northern part of the site. Car parking and delivery/storage areas are to the east and west. To the south of the building are the pub gardens and children's play area and beyond this is the former bowling green, which is now overgrown. The pavilion shown on the plans has already been removed.

The application originally submitted proposed the conversion of the public house into a single residential property and additional residential development upon some of the former pub gardens and bowling green behind the pub. This would have resulted in a total of 6 large residential units on the site.

During the course of the application, and following discussions with Planning Officers, the proposed scheme has been amended to retain the use of the public house along with variations to the scale, size and layout of the residential units proposed at the rear of the site.

The proposal now under consideration seeks full planning permission for the retention and refurbishment of the existing public house and proposed residential development to create 7 new houses to the southern part of the site.

SUPPORTING CASE

The planning application going before planning committee on June the 14th is one that has been under consideration since October 2019. Previous planning applications have been made prior to this submission, included the construction of 3 dwellings, and the construction of commercial premises.

The proposal being presented before the planning committee is for the construction of 7 residential dwellings, to the land at the rear of the Public House, known as House on the Green. The 7 dwellings have been designed to be reasonable in size, with generous gardens to the rear and ample parking and turning spaces. The proposed dwellings will make fantastic starter homes or family homes, in a well-connected village which benefits from several important amenities such as schools, supermarkets, shops, restaurants/public houses, and public transport with accessibility to neighbouring towns and villages.

In terms of planning policy, the site lies within the development boundary and in a suitable area for development. There have been no objections from statutory consultees other than the parish council, who are concerned about the loss of the public house, which is not the case.

In a survey carried out by North Wootton Parish Council 92% of the responses stated that they wish for House on the Green to continue as a public house. What is extremely important to note is that this proposal does not seek the loss of the Public House. The Public House will continue to benefit from a generous garden to the west, and ample parking to the east. Ancillary storage buildings shall also remain in situ.

The land in which the 7 dwellings are sited was formerly garden, bowling green and carpark. The bowling green has not been used for several years, and parking is now situated to the east as aforementioned. Therefore, the premises will not lose any amenities due to the construction of the proposed dwellings.

Within the same survey previously mentioned, 97% of responses raised concerns over the condition of the existing building – this is a view which is shared by the applicant and is something they are certainly keen to address as soon as practicable. They are aware that the building has been subject to vandalism, and attempts have been made by the applicant to stop this.

Previous concerns raised by the planning authority, statutory consultees and members of the public have been considered and adopted where possible. We understand the need for starter homes, and we understand the desire to keep the building as a public house; this proposal can deliver both of those elements. In depth discussions have been held with the planning department over several months to seek a suitable proposal for this site, which we feel has now been sought.

We hope that the planning application being presented before the planning committee can be approved, so that this site and proposal can move forward.

PLANNING HISTORY

18/01507/F: Application Refused: 31/05/19 - Proposed Development of Commercial Units - The House on The Green, Ling Common Road, North Wootton, King's Lynn, Norfolk PE30 3RE

18/01505/F: Application Refused: 31/05/19 - Proposed residential development of three dwellings - Land S of House on the Green Little Carr Road North Wootton Norfolk

17/00176/PREAPP: INFORMAL - Likely to refuse: 01/02/18 - Pre-application enquiry: Demolition of existing building and re-development of the site for residential use - The House On The Green, Ling Common Road ,North Wootton, King's Lynn, Norfolk, PE30 3RE

13/00059/PREAPP: INFORMAL - Likely to approve: 30/05/13 - Pre-application enquiry: Erection of 2 No detached dwellings, detached double garages and access drive on redundant bowling green - Land At Rear of the House On the Green, Ling Common Road, North Wootton, Norfolk, PE30 3RQ

05/02062/F: Application Permitted: 14/11/05 - Extension to public house - The House On The Green, Ling Common Road, North Wootton, King's Lynn Norfolk, PE30 3RE

04/02698/F: Application Permitted: 04/02/05 - Extensions to public house - The House On The Green, Ling Common Road, North Wootton, King's Lynn Norfolk, PE30 3RE

RESPONSE TO CONSULTATION

Parish Council: OBJECTION – The Parish Council objects to this development which echoes the views of many local residents.

While the proposed retention of the pub would retain a valuable community asset, there is little evidence that the pub will reopen as it has been left to fall into disrepair and vandalism has been prevalent and left unchecked for over a year. It is a concern that if this application is granted a further application for more houses would be forthcoming for this part of the site.

Layout and Density – The Parish Council feels that 7 houses on this site will be cramped. There are no garages planned which could then lead to further planning applications from owners to extend/build outside storage. Although the access is proposed at 5m wide, with parking spaces being allotted for a potential 14 cars this does not leave sufficient room for vehicle movements.

Overshadowing/Loss of Outlook – Consideration must be given to the residents of Ling Common Road, Little Carr Road, Ford Avenue and Carlton Drive whose properties will be adjacent this development.

The Parish Council has forwarded the results of a survey which the PC has undertaken to gain the views of residents for the above application.

Details of this survey were published in our recent newsletter and residents were also reminded they could comment directly on the planning portal.

The first 2 attachments titled House on the Green Residents Survey shows findings from the online survey with a total of 231 people responding.

The third attachment titled House on the Green newsletter survey shows findings from correspondence received by the Parish Council with a total of 58 people responding.

The overall results are as follows;

91% of people live in the Woottons.

97% were concerned about the state of the House on the Green.

92% wished it to continue as a public house.

4% did not wish it to continue as a pub and 4% were unsure.

The Parish Council wishes the views of residents as detailed in the attached documents to be taken into account when this application is discussed at the planning committee.

The survey shows there is strong public feeling for how this site should be developed, and as a result the Parish Council has agreed the House on the Green should be nominated as an Asset of Community Value and will be submitting this application shortly.

Highways Authority: NO OBJECTION - Following a review of a previous application on the site under planning reference 18/01507/F it is apparent that the adopted car parking stands for the public house require 22 car parking spaces. I observe that this revised application would leave the public house with 19 standard spaces with an additional 2 for people with disabilities. I am of the view that this would be acceptable.

With relation to the housing proposed, the access, would accord with standard and car parking could be accommodated off the highway. However, with respect to the turning area indicated the configuration would only facilitate turning for small vehicles and would not accommodate larger delivery vans, dustcarts or fire engines. I therefore recommend that the applicant be asked to provide a revised plan to facilitate the turning of such vehicles.

Updated comments: The amended drawing is considered to be acceptable. Recommend conditions re: vehicle access construction, no gates/bollards etc. and provision and retention of access, parking and turning.

Norfolk Coastal Partnership: NO OBJECTION - as on/just outside AONB boundary.

However would like to see conditions on external lighting as this may impact AONB:

National Planning Policy Framework Clause 125 and Norfolk County Council's Environmental Lighting Zones Policy both recognise the importance of preserving dark landscapes and dark skies. In order to minimise light pollution, we recommend that any outdoor lights associated with this proposed development should be:

- 1) fully shielded (enclosed in full cut-off flat glass fittings)
- 2) directed downwards (mounted horizontally to the ground and not tilted upwards)
- 3) switched on only when needed (no dusk to dawn lamps)
- 4) white light low-energy lamps (LED, metal halide or fluorescent) and not orange or pink sodium sources

Please also refer to the Institute of Lighting Professionals, Guidance Notes for the Reduction of Obtrusive Lights which gives guidance for lighting in an AONB.

Also a condition on ecological enhancements.

Internal Drainage Board/ Water Management Alliance: : NO OBJECTION - Please be aware that the site has been screened as being near to the Internal Drainage District (IDD) of the Kings Lynn IDB which is a Member Internal Drainage Board (IDB) of the Water Management Alliance. Please see our website for detailed mapping of each Board's District. In order to avoid conflict between the planning process and the relevant Board's regulatory regime and consenting process please be aware of the following:

- We note that the applicant has indicated that they intend to dispose of surface water via infiltration, however we cannot see that a drainage strategy or plan has been provided for the site. This proposed strategy should be supported by ground investigation to determine the infiltration potential of the site and the depth to groundwater. If on-site material is considered favourable then infiltration testing in line with BRE 365 should be undertaken to determine its efficiency. If (following testing) a strategy wholly reliant on infiltration is not viable and a surface water discharge is proposed to a watercourse, then the proposed development will require land drainage consent in line with the Board's byelaws (specifically byelaw 3). Any consent granted will likely be conditional, pending the payment of a Surface Water Development Contribution fee, calculated in line with the Board's charging policy.

Whilst the consenting process as set out under the Land Drainage Act 1991 and the aforementioned Byelaws are separate from planning, the ability to implement a planning permission may be dependent on the granting of these consents. As such we strongly recommend that any application to discharge is made to the Board prior to determination of the planning application.

Environmental Health & Housing - Environmental Quality: NO OBJECTION – conditionally re: contaminated land, air quality.

Environmental Health CSNN: NO OBJECTION – conditionally. The conditions of interest and relevance to CSNN are:

- Ensuring the installation of a 2m high acoustic fence as shown on drawing 1812-05A.
- 04001 - Foul and Surface Water Drainage condition
- 15002 – lighting scheme
- Kitchen Ventilation and extraction
- Storage and disposal of recycling, refuse and waste materials (public house)

Housing Development Officer: NO OBJECTION - I have looked at the above application and can confirm that the site area and number of dwellings proposed trigger the thresholds of the Council's affordable housing policy as per CS09 of the Council's adopted Core Strategy.

At present a 20% provision is required on sites capable of accommodating 5 or more dwellings and/or 0.165ha in North Wootton. The affordable housing provision is then further split into 70% of the affordable homes being made available for rent and the other 30% for shared ownership or any other intermediate product that meets the intermediate definition within NPPF, meets an identified need in the Borough and is agreed by the Council.

However, NPPF states that affordable housing should not be sought on developments of fewer than 10 dwellings and/or 0.5ha other than in designated rural areas. On sites on 6-9 dwellings and less than 0.5ha, a financial contribution based on £60,000 per equivalent whole affordable dwelling will be sought.

As this site is proposed for 7no units in a designated rural area and the site area is under 0.5ha, a financial contribution of £84,000 would be required. This is calculated as 7no units times 20% affordable housing – 1.4 units, times £60,000 per unit. A S.106 Agreement will be required to secure the affordable housing contribution

It is important for the applicant to note that we operate a dynamic approach to viability whereby the affordable housing thresholds and percentages are reviewed on an annual basis and informed by the following factors;

- Market Land Values
- House Prices
- Level of contribution sought overall
- Index of Build Costs

However any S.106 agreement signed before the review will provide the prevailing affordable housing percentage at the time of determining the application.

A S.106 Agreement will be required to secure the affordable housing contribution.

Natural England: No comments

Arboricultural Officer: NO OBJECTION – conditionally; it will be appropriate to ask for a modest planting plan, to follow the plan numbered: 1812-05A. I will also need to see an updated method statement for the new parking spaces (plan: 1812-05A) under the retained trees.

REPRESENTATIONS

83 representations received referring to the following: -

- Object to increased traffic flow and impact on area
- No room for visitor parking for dwellings
- Ling Common Road is part of National Cycle Route 1 and is the main conduit for cyclists leaving Lynn and the Woottons for destinations in North Norfolk; impact of traffic on cyclists
- Scheme dominated by parking and turning
- Soakaways not achievable within site
- Drainage problems
- There is a very substantial area non-permeable ground coverage proposed in relation to properties numbers 3 4 5 & 6 i.e. roads, parking spaces, patios & outside space that with heavy rainfall could result in flooding to the existing adjoining properties.
- Not enough school places, doctors or dentists for extra housing
- Overlooking of neighbouring properties
- Poor relationship with neighbours, e.g. No 28 Little Carr Road, 38 and 39 Ford Avenue
- Although about 2.2m lower than the original proposal, and a little lower than the 2019 proposal the side elevations of the new dwellings would be a very dominant and overbearing feature on the western boundary of our plot.
- In some ways the effect on the character of our garden would be greater as the house on Plot 5 would be positioned further south than the previous proposal and there would be a two storey building running along the side of the middle part of our garden
- The dwelling on plot 4 would also be prominent in the outlook from the western elevation of the house
- The ground level of the former bowling green is about 600mm higher than our garden and this would exacerbate the effect of the height differences
- Camellia Cottage, the new house constructed between nos. 25,26 and 28 Little Carr Rd, is still absent from the plans
- 38 and 39 Ford Avenue have a house situated right at the bottom of our gardens
- House number 7, once again, very close to our boundaries.
- We have a high hedge which divides us from the proposed site and there is nothing shown on the drawing as to what is planned for privacy between us and house number 7
- Impact of House 4 on No. 26 Little Carr Road; detrimental and imposing on such a quaint cottage and its future value and saleability to which I have invested in.
- Dominant and overbearing to neighbours
- House No 4 will block sunset, even from the upstairs rooms, and will have a serious effect on the late afternoon sunlight within the garden and ground floor living areas
- The design lacks integrity and inclusiveness
- Contrary to Policy DM15
- Overdevelopment
- Design not appropriate
- No context or identity to proposed dwellings
- no garages or secure external storage in the new proposals
- What will happen to the boundary hedging?
- 7 houses on the site would be totally out of character for the area
- 4 or 5 houses would be better for the site

- Any development should retain the 'open character' and perhaps even add to it with trees and greenery to enhance that feel of the transition from countryside to village periphery.
- Impact on magnolia tree at No 38 Ford Avenue
- Is the housing type proposed what is needed?
- Profiteering with no thought to community amenity
- Impact on our house prices
- Unnecessary noise and pollution
- The site is surrounded by woodland and this would cause disruption to surrounding wildlife
- The southern boundaries of houses 5 & 6 back on to my garden Aycliffe. After the disuse of the bowling green & maintenance ceased the hedge bordering my property became a haven to wildlife including newt
- The House on the Green may have bats
- Although the new plans show house no. 5 slightly reduced in height, it remains taller than our chalet bungalow therefore not in keeping with the surrounding residential buildings.
- Noisy gravel surfaces proposed
- Fumes from vehicles of new properties
- Object to the loss of the public house
- As neighbours at No 25 Little Carr Road the pub is our boundary and the demise of this property is truly a shame; if there is any chance that we can get this back then we owe it to the building and also of course ourselves the community.
- The whole site should be restored and used as a building which provides a service to the members of the village
- Learning from Covid, there is not enough outdoor space or gardens in the proposal
- The development will ruin the feel of the pub
- Not enough parking for the pub
- Support retention of the public house
- No commitment to keeping the pub running
- The public house has been left to deteriorate, to encourage vandalism
- The pub as a pawn in a development of housing scheme
- The developer has shown no goodwill in opening the public house
- No commencement of housing should be allowed until pub reopened or legally binding agreement for pub to stay open for at least 5 years
- Is the site appropriate for a business to return a justifiable profit?
- Object to the proposed reinstatement of the public house
- Noise from a pub is very disturbing to local residents and can have a huge serious detrimental impact on health and well being
- We are very pleased to see the latest submission and consider the current scheme to be a good balance reflective of previous concerns raised.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

CS09 - Housing Distribution

CS10 - The Economy

CS11 - Transport

CS12 - Environmental Assets

CS13 - Community and Culture

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM9 - Community Facilities

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

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PLANNING CONSIDERATIONS

- Principle of development
- Impact on AONB
- Design, character and appearance
- Neighbour amenity
- Highways matters
- Trees
- Ecology
- Drainage
- Other matters

Principle of development

North Wootton is classed as part of King's Lynn for the purposes of the Core Strategy. King's Lynn is identified as a sub-regional centre in the Settlement Hierarchy set out in Policy CS02 of the King's Lynn & West Norfolk Core Strategy, 2011. Within this area the principle of new development, including residential development, is generally considered to be acceptable under Policies CS02 and CS09 of the Core Strategy. Development must however have regard for and be in harmony with the building characteristics of the locality and comply with all other relevant policies, including Development Management Policies DM1, DM2 and DM15.

Nationally, the NPPF seeks a high standard of design, stating at para 124 that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Para 130 refers that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

The proposed development would result in the retention of the public house along with new residential development on land associated with the public house, but that has not been in use in connection with the public house for some considerable time.

In planning terms the existing public house is deemed a community facility, and there are local and national policies that seek their retention.

In terms of National Policy paragraph 83 of the NPPF refers:-

'Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;
- b) the development and diversification of agricultural and other land-based rural businesses;
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.'

At a local level Core Strategy Policy CS10 is particularly relevant. It refers:

'Retail, tourism, leisure, and cultural industries are key elements of the economic and social vibrancy of our borough, and contribute to the regeneration and growth of the area ...

Further Policy DM9 of the SADMP 2016 not only encourages the retention of existing community facilities and the provision of new facilities, it states that development leading to the loss of an existing community facility will not be permitted unless it is demonstrated that either

- a) the area currently served by it would remain suitably provided following the loss, or if not,
- b) it is no longer viable or feasible to retain the premises in a community facility use.

Para 127 of the NPPF recognises that planning policies and decisions should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).

In this case the proposed scheme, as amended, now retains the existing public house building and its community facility at the front of the site, whilst also providing seven new dwellings on the less visible part of the site that has not been used as a bowling green for many years. In this regard the proposal is seen as an efficient use of land that will not harm the wider character of the local area and complies with relevant national and local plan policy.

Impact on AONB

The land to the north is within the AONB.

The NPPF states nationally designated areas, such as Areas of Outstanding Natural Beauty (AONB), have been confirmed by the Government as having the highest status of protection in relation to landscape and scenic beauty. The conservation of the natural beauty of the landscape and countryside should therefore be given great weight in planning policies and development control decisions in these areas.

The site is surrounded by existing residential development on three sides and is therefore within a contained site. The works to the front of the site largely retain the character of the existing built form as this involves improvements to the existing building and other low key elements such as parking layouts and the road access to the new residential development to the rear of the site.

In terms of scale and mass the proposed residential development, set behind existing buildings, is not considered to be of such significance to have a harmful impact on the overall wider landscape character of the area.

Design, character and appearance

The existing public house building to the north of the application site is a brick and carstone slip property with clay pantile roof. The building has merit in terms of its appearance, form and character and adds to the character of the area and the streetscene.

The building is recorded on the First Edition Ordnance Survey map as the 'Red Cat' public house (before the Red Cat public house moved to Station Road) and also appears on the tithe map. It is considered that the House on the Green is a building of local historic interest and a non-designated heritage asset.

The amended proposal seeks the retention and refurbishment of the existing public house at the front of the site, but, other than changes to the site layout around the building, no plans have been submitted for any detailed works to the existing building. The application seeks permission for seven detached dwellings to the rear of the site, along with access and turning facilities.

During the course of the application the number of units on the site have been increased, but now propose smaller dwellings set in a more traditional 'L' shaped layout. These changes were made following feedback and concerns raised during the course of the application with regard to the scale and impact upon neighbouring properties of the much larger dwellings previously proposed.

The built form in the vicinity is quite varied in character and largely residential in nature. Surrounding development consists of a mix of single storey dwellings, chalet style properties or two storey properties, which are predominantly detached. Dwellings immediately adjacent to the application site vary in height, materials, design, footprint and distance to the highway. Although the House on the Green Public House and the dwellings to the east of the site accessed off Heather Close are older style properties, more modern housing is located to the west of the site.

In design terms the proposed new dwellings are detached, two storey in height and are 3 bedroom properties. Although the number of units is greater, the scale and layout of the dwellings is considered more in keeping with surrounding development. Due to this part of the site being surrounded by existing development on three sides, most of the new dwellings will not be visible from public viewpoints. These smaller units will not be conspicuous in their setting.

Third party concern has been raised regarding the cramped layout of the scheme. However, each dwelling is detached, has off-street parking facilities either in front of, or to the side of, each dwelling and rear gardens of acceptable size. Each property has facilities to store their bins within their own site, with side accesses to wheel the bins from the rear of the property to the front. The density is higher than that of surrounding development, but it is not considered that it would result in a detrimentally cramped development.

There are only limited long, public views of the development as the site is contained by housing on three sides. They are two storey in height, whereas surrounding development is generally one and a half storey in height. The roofs will be the most visible element from further away and it is considered that good quality materials are imperative to ensure the development fits in with surrounding development.

In this case it is considered that the proposed development, as amended, now responds better to its location and is sufficiently in keeping with the modest proportions and design elements of the existing public house building, which is a non-designated heritage asset building. It therefore accords with the provisions of Development Management Policies DM1, DM2 and DM15 with regard to scale, massing and layout.

Neighbour amenity

The relationship between the proposed development and existing neighbouring properties has been examined and the impact upon the amenity of the occupants of these properties has been assessed. Consideration has been given to overlooking, overshadowing and whether the proposed development is considered to be overbearing.

Account has also been taken of the change in ground levels between the gardens of adjoining properties and this site along with boundary treatment.

The site is surrounded by existing residential properties on three sides, located on Ling Common Road, Little Carr Road and Ford Avenue. There is a tight, existing arrangement with the neighbouring property to the south east of the site, 26 Little Carr Road, where the property forms the boundary with the site. The windows of this residential property directly overlook the existing pub garden and therefore visitors to the site can look straight into the rooms of this neighbouring property.

Third party concern has been raised to the impact of the proposed residential development upon the amenity of the occupants of adjoining dwellings, particularly in terms of overlooking and being overbearing.

The proposed dwellings are smaller in scale than the larger properties originally proposed and have lower ridges (approximately 0.5m lower). Due to the proposed dwellings being more modest in scale, there will be less built form along the boundaries. This means these smaller dwellings will have less impact on the neighbouring properties in terms of scale, mass and bulk.

Plots 5 – 7 have been located in line with the garages of Nos 38 and 39 Ford Avenue, so that a degree of openness to the rear gardens of these existing properties is retained. No. 7, the nearest to these two properties, is set more than 10 m from the properties and 1m off the common boundary. There is only one first floor window shown to the western elevation of Plot 7, which serves a landing.

Plot 5 is set over 9m away from the neighbouring property, No 28 Little Carr Road and is more than 1.8m away from the common boundary. There are no side windows proposed to the eastern elevation of Plot 5.

Plot 4 is nearly 4m away from the common boundary with No. 28 and nearly 3m away from the boundary with Camellia Cottage.

Plots 1 and 2 both have rear garden depths of more than 10m for most of the width, reducing to 8.6m at the rear gable sections.

Given the orientations and distances between dwellings it is considered that the development can be constructed without having a significant impact upon the amenity of the occupants of existing neighbouring properties in terms of them being overbearing or causing loss of light or shadowing.

There will be windows introduced at first floor level, but these serve non-habitable rooms where they appear on the side gables. Plots 1 and 2 have windows serving bedrooms facing east towards the properties on Little Carr Road and west facing the rear garden of the property known as Burleen. However, they will look out towards these properties and not directly into the windows of these adjoining dwellings.

The main windows to No. 26 Little Carr Road face south rather than west. Camellia Cottage is offset from Plot 2, and is more than 16m from the site boundary, making window to window distance of more than 26m. In this case the degree of impact on the amenity of these neighbouring properties is not considered significant enough to warrant refusal given the relationship and distances between properties.

Plot 1 is more than 7.5m away from the nearest part of the public house, separated by an acoustic fence and a hedgerow. CSNN concern over the need for acoustic fencing to the rear garden of plot 3, alongside the access drive is noted. Details of acoustic fencing, including position, height and design, can be controlled through planning condition.

Third party comments that the recently constructed dwelling, Camellia Cottage, does not appear on the plans are noted. However, the site has been visited and the relationship with this and all other adjoining properties has been examined.

Third party comment regarding noise and disturbance from the residential development is noted, but residential units are considered compatible with existing residential uses.

Highways matters

The proposed scheme shows a single new vehicular access through to the cul-de-sac of seven new dwellings, which is acceptable to the highways authority in terms of numbers of dwellings served by a private drive (9 dwelling threshold).

The applicant has now provided tracking details for vehicles to demonstrate that there is adequate turning for larger delivery vehicles dust carts or fire engines.

The Highways Authority raises no objection to the application on highway safety grounds, subject to appropriate standard conditions.

Third party concerns about the volume of additional traffic and traffic speeds are noted but not shared areas of concern by the Highways Authority.

Affordable Housing

The site area and number of dwellings proposed trigger the thresholds of the Council's affordable housing policy as per CS09 of the Council's adopted Core Strategy.

As this site is proposed for 7 no. units in a designated rural area and the site area is under 0.5ha, a financial contribution of £84,000 would be required. This is calculated as 7no units times 20% affordable housing – 1.4 units, times £60,000 per unit.

A S106 Agreement is required to secure the affordable housing contribution.

The Housing Enabling Officer raises no objection to the proposal subject to the affordable housing contribution being secured through legal agreement.

Trees

The application has been supported by an Arboricultural Impact Assessment, including Tree Survey and Tree Constraints Plan.

One B category tree, three C category trees and two C category groups will need to be removed for development purposes and replaced with new heavy standard trees. Most of the buildings have been positioned outside the RPA of adjacent trees. There is one instance where there is minor encroachment into the RPA. This will be addressed by carrying out pre-emptive root pruning.

The Arboricultural Officer has reviewed the scheme and raises no objection to the proposal subject to the submission of a planting plan, to follow the plan numbered: 1812-05A and an updated method statement for the new parking spaces (plan: 1812-05A) under the retained trees. This can be covered by way of planning conditions.

The scheme also shows a communal planted area at the entrance into the site. It will be necessary for details of the maintenance of this area to be submitted to ensure this is properly maintained.

Neighbour concern has been made regarding the impact of the development upon a magnolia tree in a neighbouring garden. If this tree overhangs the boundary then the landowner already has the ability to remove these branches, regardless of whether the site is developed. The Arboricultural Officer raises no objection to the pruning of trees on the site.

Ecology

The southern part of the site was formerly used as a children's' play area and a bowling green. Historically therefore this part of the site has been managed and maintained. More recently this area has not been used and is open and largely consists of unmown grass.

The rear part of the site is enclosed and there are no ponds or watercourses.

Natural England standing advice has been used to assess potential impacts on protected species. On this basis, given the circumstances of the site, it has not been necessary to request specific protected species surveys.

Natural England have been consulted and make no comments on this application.

Third party concern has been raised regarding the impact on wildlife and protected species. Given that an examination of the site has revealed a low likelihood of protected species no planning conditions for protected species survey work are recommended in this case. However, if any protected species are encountered, they are protected by legislation from harm or disturbance and the developer would need to adhere to this.

Drainage

Third party concern has been raised regarding appropriate drainage of the site.

No details of a drainage strategy have been provided at this stage.

The Internal Drainage Board has advised that an application is made to the Board for land drainage consent under the Land Drainage Act 1991 prior to determination of the planning application. The applicant is aware of this, but details of ground investigation works and infiltration potential are still to be processed and the drainage strategy has not yet been finalised. The applicant will need to submit such details as a condition to any planning permission granted.

Other matters

The Parish Council has forwarded details of an online survey, to which 231 people responded, and a newsletter survey to which 58 people responded. 97% were concerned about the state of the House on the Green, 92% wished it to continue as a public house, 4% did not wish it to continue as a pub and 4% were unsure.

This application seeks to retain the use of the existing building as a public house. It is noted that this application accords with the opinions of the majority of the local residents who took part in the online and newsletter surveys.

Parish Council and third party concern has been raised regarding the future use of the public house. It has been suggested that the redevelopment of the public house must be substantially underway as a condition of granting permission to build any house.

It is the case that the public house is now being retained as an integral part of the overall scheme, and the new layout and design facilitates this. It is therefore considered reasonable to be able to assess how that part of the overall scheme will come forward, and the timing of that.

It is recommended therefore that a condition be imposed seeking details of the restoration of the public house prior to the occupation of any dwelling on the site, along with details of any marketing and timescales for the works to be implemented.

An application was recently considered to determine the status of the building as an Asset of Community Value (ACV). The means to establish an Asset of Community Value (ACV) was introduced under the Localism Act 2011. This assesses whether or not the use of the land furthers the social wellbeing of the local community, and whether or not it can realistically continue to do so.

The effect of an ACV listing means that the building cannot be sold without giving opportunity for a community bid. However, the provisions do not amount to a right to buy and there is no compulsion upon an owner to consider a bid by a community group. An owner can refuse a community bid, even if it is the highest offer.

In this case, however, a recent bid to list The House on the Green Public House as an ACV was deemed unsuccessful.

A property's status as an ACV can also be a material consideration in planning decisions. The fact that the site has not been considered an ACV is of note, but Para 47 of the NPPF states that planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Accordingly, in this case, the last use of the site was as a community facility and this is still relevant in terms of national and local plan policies.

Third party objections to fumes from vehicles of new properties are noted, but this would not be of such significance to cause a nuisance or a refusal of planning permission.

Third party comments regarding loss of private views are noted, but there is no right to a view. Amenity issues have been considered, relating to loss of light and overshadowing, but this is different to retention of a private view.

Third party objections regarding impact of the proposal upon house prices are noted, but this is not a material planning consideration.

Third party comments have made suggestions about how the site could be best used. However, the proposal under consideration for this application is that now shown on the amended plans.

CONCLUSION

The House on the Green Public House building is of traditional appearance and forms part of the local character of this part of the village. The building is of historic interest and is considered to be a non-designated heritage asset. The proposal would result in the loss of some of the existing public house land, but would retain the public house building and its use, along with sufficient land for amenity space, parking, deliveries and servicing facilities required to accord with adopted standards.

The retention of this use no longer conflicts with local plan policies CS10 and DM9 which seek to retain community facilities. Given that this is an integral part of the scheme, it is recommended that a condition be imposed seeking full details of the proposed restoration of the public house, and its marketing, prior to the occupation of any dwelling on the site.

The proposed new residential properties to the rear of the site are of appropriate design and scale to fit in with surrounding development. It is considered that the proposed development, as amended, now responds sensitively and is sufficiently in keeping with the proportions and design elements of the existing public house building and surrounding residential development.

No significant amenity issues have been found to exist that would warrant a refusal, and the proposal now accords with the provisions of Development Management Policies DM1, DM2 and DM15 with regard to scale, massing and layout.

The significant trees to the north eastern site boundary have been shown to be retained, and this can be controlled through planning condition.

Similarly matters of drainage can be controlled through planning condition.

For the reasons above, it is recommended that the proposal, as amended, be supported.

RECOMMENDATION:

A) APPROVE subject to conditions and the satisfactory completion of the S106 Agreement;

- 1 Condition The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.

2 Condition The development hereby permitted shall be carried out in accordance with the following approved plans:

- Drawing No. 1812-01 Existing Floor Plan, Elevations & Location Plan
- Drawing No. 1812-03, House Type 1 - Proposed Plans & Elevations
- Drawing No. 1812-04, House Type 2 - Proposed Plans & Elevations
- Drawing No. 1812-05 A, Proposed Site Plan

2 Reason For the avoidance of doubt and in the interests of proper planning.

3 Condition Notwithstanding the details that accompanied the application hereby permitted, no development shall take place on any external surface of the development until the type, colour and texture of all materials to be used for the external surfaces of the building(s) have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

3 Reason To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.

4 Condition Prior to the occupation of any dwelling, a scheme shall be submitted to and approved in writing by the Local Planning Authority, covering the following:

- i) A plan for the restoration of the public house and the provision of the associated new site layout, including phasing/timescales; and
- ii) A plan for the proposed marketing of the restored public house, including timescales.

Such a scheme shall be implemented as approved by the Local Planning Authority.

4 Reason To ensure the restored and remodelled public house and its environs remains an integral part of the development, and in the interest of retention of the community facility, and the general appearance of the area.

5 Condition Prior to the commencement of the use hereby permitted the vehicular accesses shall be upgraded (widened) in accordance with the Norfolk County Council residential access construction specification (TRAD 2) for the first 5 metres as measured back from the near channel edge of the adjacent carriageway. Arrangement shall be made for surface water drainage to be intercepted and disposed of separately so that it does not discharge from or onto the highway carriageway.

5 Reason To ensure construction of a satisfactory access and to avoid carriage of extraneous material or surface water from or onto the highway in the interests of highway safety and traffic movement.

6 Condition Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order (2015), (or any Order revoking, amending or re-enacting that Order) no gates/bollard/chain/other means of obstruction shall be erected across the approved access unless details have first been submitted to and approved in writing by the Local Planning Authority.

6 Reason In the interests of highway safety.

7 Condition Prior to the first occupation of the development hereby permitted the proposed access / on-site car parking / turning areas shall be laid out, levelled,

surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use

- 7 Reason To ensure the permanent availability of the parking/maneuvering areas, in the interests of satisfactory development and highway safety.
- 8 Condition All external lighting erected in association with this proposed development shall be:
 - 1) fully shielded (enclosed in full cut-off flat glass fitments)
 - 2) directed downwards (mounted horizontally to the ground and not tilted upwards)
 - 3) switched on only when needed (no dusk to dawn lamps)
 - 4) fitted with white light low-energy lamps (LED, metal halide or fluorescent) and not orange or pink sodium source, and thereafter maintained and retained as such.
- 8 Reason In the interests of minimising light pollution and to safeguard the amenities of the locality in accordance with the NPPF.
- 9 Condition Notwithstanding the details shown on Drawing No. 1812-05A, prior to the first use or occupation of the development hereby approved, full details of both hard and soft landscape works shall have been submitted to and approved in writing by the Local Planning Authority. These details shall include hard surface materials, refuse or other storage units, street furniture, structures and other minor artefacts. Soft landscape works shall include planting plans, written specifications (including cultivation and other operations associated with plant and grass establishment) schedules of plants noting species, plant sizes and proposed numbers and densities where appropriate.
- 9 Reason To ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF.
- 10 Condition All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation or use of any part of the development or in accordance with a programme to be agreed in writing with the Local Planning Authority. Any trees or plants that within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species as those originally planted, unless the Local Planning Authority gives written approval to any variation.
- 10 Reason To ensure that the work is carried out within a reasonable period in accordance with the NPPF.
- 11 Condition A landscape management plan including long-term design objectives, management responsibilities, management and maintenance schedules for all landscape areas, other than small privately owned, domestic gardens, shall be submitted to and approved by the Local Planning Authority prior to the occupation of any part of the buildings or any phase of the development, whichever is the sooner, for its permitted use. The landscape management plan shall be carried out as approved.
- 11 Reason To ensure that the landscaping is properly maintained in accordance with the NPPF.

- 12 Condition Notwithstanding the details provided within the Arboricultural Impact Assessment by A T Coombes Associated Ltd. a revised method statement incorporating the parking layout under the retained trees as shown on Drawing No. 1812-05A shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development.
- 12 Reason To ensure that existing trees and hedgerows are properly protected in accordance with the NPPF. This needs to be a pre-commencement condition given the potential for damage to protected trees during the construction phase.
- 13 Condition Prior to the commencement of any development details of existing and proposed levels, including finished floor levels of all buildings or structures and any changes in levels proposed to the site, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.
- 13 Reason To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 14 Condition In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with current best practice, and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures in the approved remediation scheme, a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

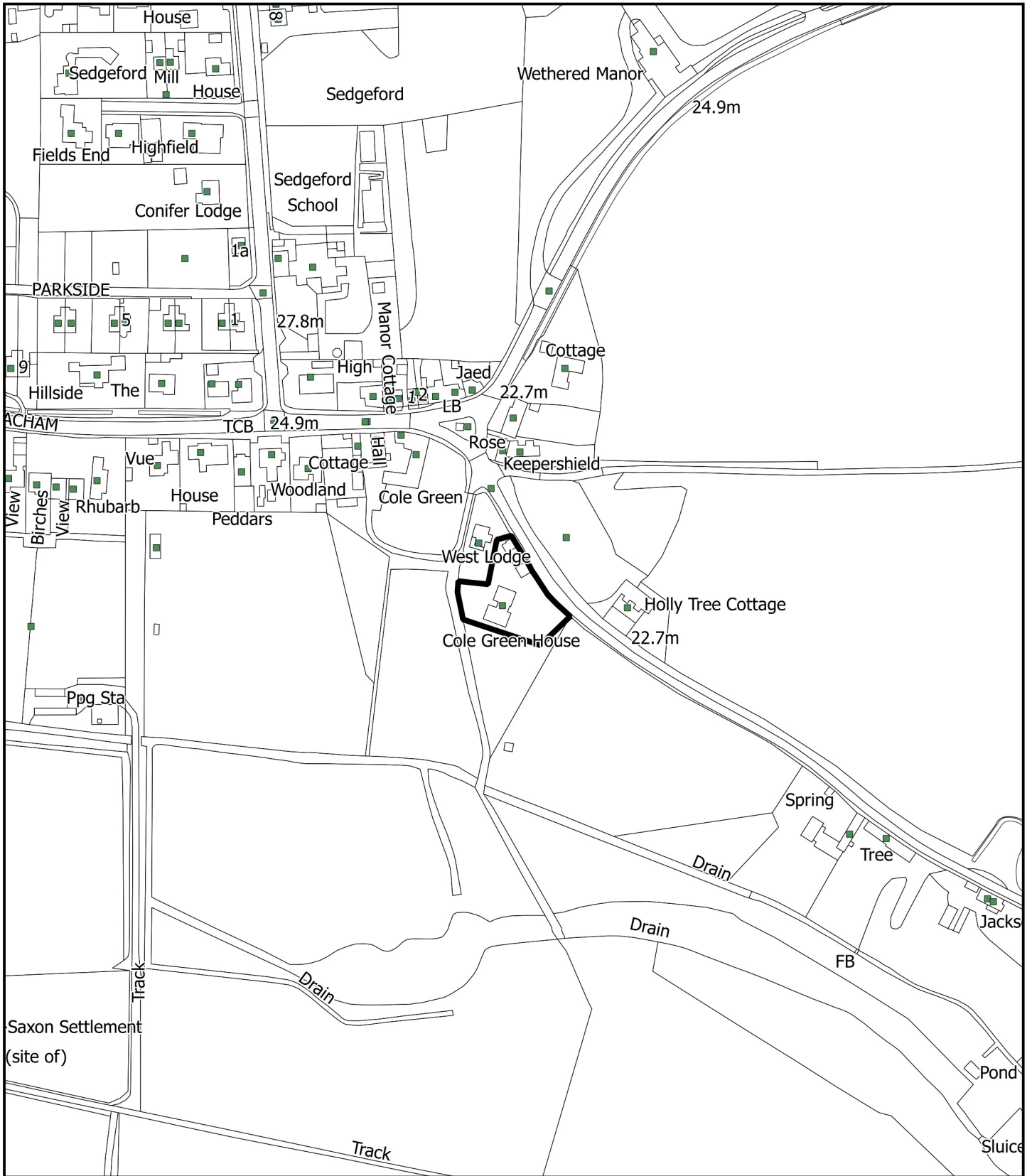
- 14 Reason To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.
- 15 Condition No development shall commence on site until a scheme has been submitted to and approved in writing by the Local Planning Authority that provides for the suppression of dust during the period of construction. The scheme shall be implemented as approved during the period of construction unless otherwise agreed in writing by the Local Planning Authority.
- 15 Reason In the interests of the amenities of the locality in accordance with the NPPF. This needs to be a pre-commencement condition given the dust emissions that could arise during the construction phase.
- 16 Condition Prior to first occupation of the development hereby permitted, a plan shall be submitted to and approved in writing by the Local Planning Authority indicating the positions, heights, design, materials and type of all boundary treatment to be erected, including acoustic fencing. The boundary treatment shall be completed before the occupation hereby permitted is commenced or before the building(s) are occupied or in accordance with a timetable to be approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

- 16 Reason To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 17 Condition No development shall commence until full details of the foul and surface water drainage arrangements for the site have been submitted to and approved in writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.
- 17 Reason To ensure that there is a satisfactory means of drainage in accordance with the NPPF.
This needs to be a pre-commencement condition as drainage is a fundamental issue that needs to be planned for and agreed at the start of the development.
- 18 Condition No additional equipment for the ventilation and extraction of fumes/cooking smells at the public house shall be installed until a detailed scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall specify the precise details of the flue extraction equipment to be used, including: the stack height; the design and position of all ductwork; the noise/power levels of the fan(s); the number, type and attenuation characteristics of any silencers; details of anti-vibration mounts and jointing arrangements in the ductwork; the number of air changes per hour, and the efflux velocity. The scheme shall be implemented as approved prior to the installation of the equipment and thereafter maintained as such.
- 18 Reason In the interests of the amenities of the locality in accordance with the principles of the NPPF.
- 19 Condition Prior to the occupation of the dwellings hereby permitted details of the storage of and disposal of recycling, refuse and waste materials for the public house shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.
- 19 Reason In the interests of the amenities of the locality in accordance with the principles of the NPPF.

B) REFUSE if the S106 is not completed with 4 months of the date of this resolution to approve due to a failure to secure affordable housing.

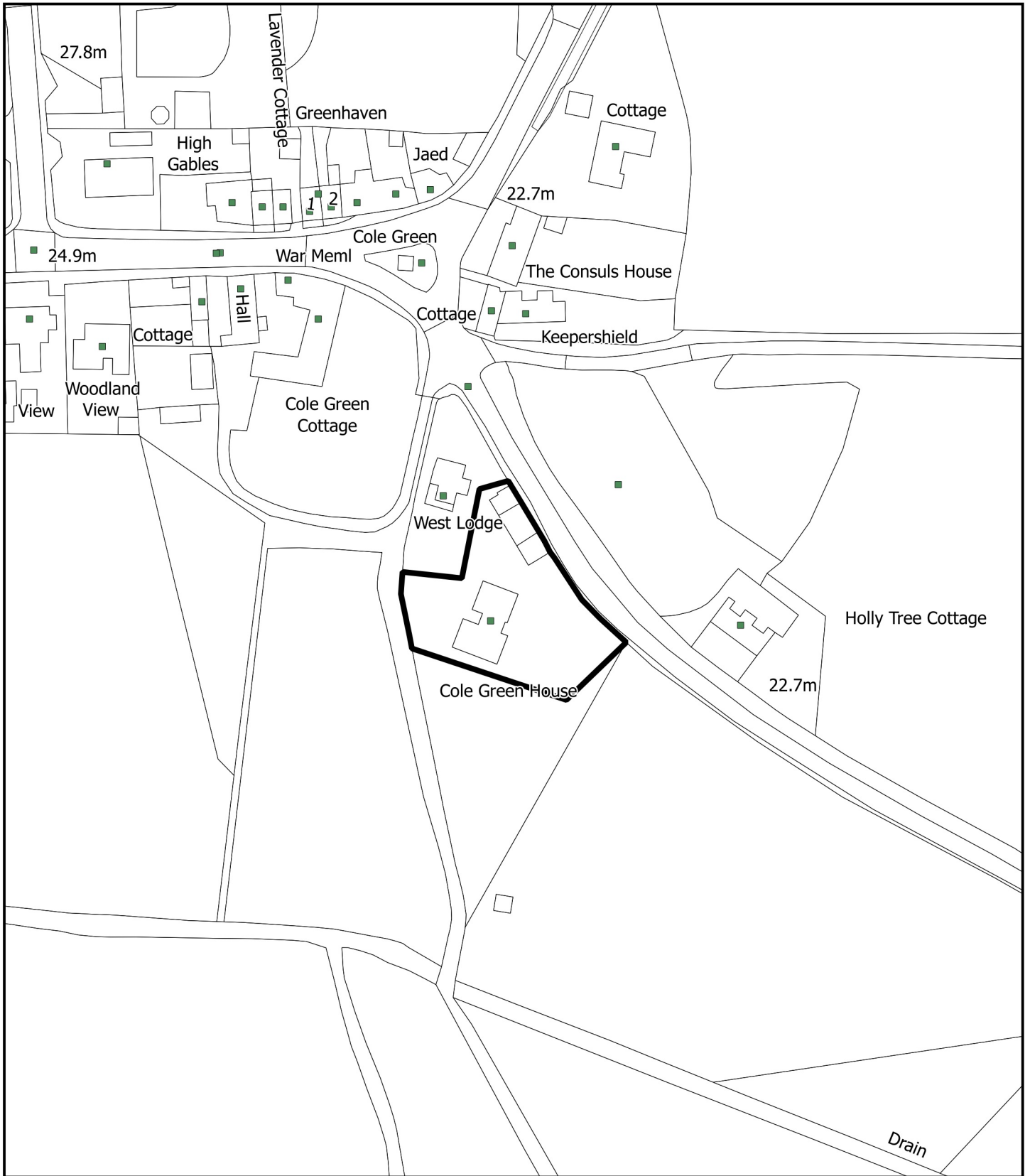
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Cole Green House Fring Road Sedgeford



21/00419/F

Cole Green House Fring Road Sedgeford



AGENDA ITEM NO: 8/2(f)

Parish:	Sedgeford	
Proposal:	RETROSPECTIVE APPLICATION : Retention and completion of detached single storey open car port to front of existing house	
Location:	Cole Green House Fring Road Sedgeford Norfolk	
Applicant:	Mrs Kathryn Holt	
Case No:	21/00419/F (Full Application)	
Case Officer:	Mr M Broughton	Date for Determination: 29 April 2021 Extension of Time Expiry Date: 18 June 2021

Reason for Referral to Planning Committee – Called in by the Director of Environment and Planning

Neighbourhood Plan: Yes

Case Summary

The land is situated on the south side of Fring Road, Sedgeford, within the village boundary, Conservation Area and the designated Norfolk Coast AONB.

The application seeks the retention and completion of a detached, single storey, open car port to front of existing house at Cole Green House Fring Road Sedgeford.

The National Planning Policy Framework 2019, the Sedgeford Neighbourhood Plan, the King's Lynn and West Norfolk Borough Council Core Strategy 2011 and the Site Allocations and Development Management Policies Plan (SADMP) 2016 are relevant to this application.

Key Issues

Principle of development and policy
Form and Character
Impact on the locality
Other considerations

Recommendation

APPROVE

THE APPLICATION

The land is situated on the south side of Fring Road, Sedgeford, with access approximately 25m south-east of 'Cole Green' and its junction with Heacham Road and Docking Road.

The site comprises a 2 storey detached dwelling with a range of low level outbuildings on the north-eastern boundary, recently approved for conversion to a studio and bedroom accommodation and conditioned as ancillary to the use of the dwelling. In the rear garden on the west side of the dwelling there is an open swimming pool with ancillary building.

The application seeks the retention and completion of a detached, single storey, open carport at the front, south-west corner of the existing dwelling at Cole Green House, Fring Road, Sedgeford, abutting the southern boundary of the curtilage.

It is the timber frame that has already been constructed, orientated east / west and positioned on the south boundary of the curtilage of the site, which is gravelled and part of the existing parking and turning area fronting the dwelling, which can cater for 6 vehicles parking and manoeuvring.

It is proposed to complete the timber building with cedar shingles to the roof, vertical timber cladding to the low level gables and similar timber cladding to the 900mm high screen proposed to 3 sides, leaving the north side completely open for access for 3 cars to park therein. Parking and manoeuvring is retained otherwise as existing.

SUPPORTING CASE

This statement has been prepared following the recent grant of Planning permission for the conversion of existing outbuildings on the site into ancillary bedroom accommodation ref 20/00030/F.

A timber 3 bay open sided carport frame has been erected in front of Cole Green House, with parking for 3 cars proposed. A cedar shingle roof and low level screen fences to 3 sides is proposed.

The home owners were of the belief this would be allowed under Permitted Development and previous approval and comment:

- The builder repeatedly reassured us the car port could be erected under Permitted Development. In addition, the developer had told us on purchase in 2006 that there had previously been planning permission for a car port to be built at the front of the house, but he had chosen not to do that.
- It is not our intention to flout planning laws, which we understand are there for good reason. We are suitably embarrassed that this is a retrospective application and that this has upset our Parish Councillors. We can assure Sedgeford Parish Council and the Borough Council of King's Lynn and West Norfolk that we will never again undertake any project without following the correct procedures by ensuring that planning permission is first in place.

Work was stopped on the building in December 2020.

Local concern is not from immediate neighbours, but from the Parish Councils whose comments to date have not been supportive to my client and are especially detailed in the light of this been a retrospective application.

Summary of comments submitted by the Parish Council:

- Over development of the site / cramped on the plot
- Loss of parking
- Scale & Design
- External Lighting

The garden area of the site (red edged on agents plan) is 1500m² 0.37 acres. The total building footprint area will be 346m² or 23%.

The outdoor pool itself if included takes this to 390m² or 26%.

This is a very large and generous plot by todays housing standards

The gravel area at the front of the house has always been used for vehicle parking and turning. It is fully screened from neighbours and hidden from the road by mature hedges and the house itself. This is the ideal location for the carport, it maintains the front elevation of the house and maintains vehicle access to north side of the house

A car port in this location at the front corner of the existing house organises the parking, maintains the existing front elevation and visually screens the vehicles.

By keeping all the carport sides open, it makes the building appear to be see-through and light so it has less of an impact on the property and still maintains the views from the house windows.

The scale is normal for vehicle parking and in keeping with the size of the house it serves. The height of the car port from ground to ridge is a maximum of 3.9m. The materials used are to be all timber, with cedar shingles to the roof to match the existing pool house.

The existing external lighting to the parking area is PIR operated wall lights mounted on the house. These will be maintained.

Lighting:

Lighting to the carport will be situated in the open roof space and so be screened from any direct external view. Light will no doubt spread to an area a little larger than the carport foot print, however these lights will also be PIR operated so as not to cause nuisance.

Note: The Agent report includes a plan of the overall site layout and a front elevation of the dwelling depicting the cart shed in situ

PLANNING HISTORY

21/00030/F: Permitted - Planning Committee 17/05/21: Conversion and extension of existing detached carport and garage to ancillary bedroom accommodation and storage shed (Retrospective) - Cole Green House Fring Road Sedgeford (See notes on history below 04/0437/F)

19/02210/F: Permitted: 21/02/20 - Proposed external swimming pool and detached pool house - Cole Green House

19/01759/LDE: Was /_Would be Lawful: 19/11/19 - Lawful development certificate: Use of former meadow land as domestic garden land in excess of 10 years - Cole Green House

19/00122/PREAPP: Likely to refuse 02/09/19: Proposed two storey side extension with a linked single storey swimming pool building and a single storey rear garden room extension - Cole Green House

19/00043/TREECA: Tree Application - No objection: 25/03/19 - T1 Horse Chestnut - Fell - Cole Green House

18/01180/F: Withdrawn: 13/07/18 - Raise the height of boundary garden wall - Cole Green House

18/00133/TREECA: Tree application No objection: 12/09/18 - T1 Horse Chestnut - 4m overall crown reduction. T2 & T3 Horse chestnut, remove. T4 & T5 Horse chestnut, remove, within a Conservation Area - Cole Green House

17/00216/TREECA: Tree Application - No objection: 13/12/17 - T1 Ash, fell. T2 Horse chestnut, fell. T3 Horse chestnut, fell within a Conservation area - Cole Green House

17/00154/TREECA: Tree Application - No objection: 22/09/17 - Felling of 5 Sycamore trees and 1 Ash tree within a Conservation Area - Cole Green House

17/00105/TREECA: Tree Application - No objection: 16/05/17 - Cole Green House

15/00069/TREECA: Tree Application - No objection: 02/06/15 - Remove Re-plant as per schedule within Conservation Area - Cole Green House

04/0437/F: Permitted: 25/05/04 - Construction of house and conversion of existing outbuildings to garaging - Site Adjacent West Lodge Sedgeford Hall Sedgeford

(Note: the 3 parking bays in the existing structure were approved for outward extension – albeit not built)

02/1969/F: Planning Committee – Permitted 21/01/03: Completion and retention of dwelling house (revised dwelling design) - land Adjacent West Lodge Sedgeford Hall Sedgeford (recorded works commenced – foundations of dwelling laid in accordance with 80/3623/D))

80/3623/D: Permitted – full details - construction of dwelling and cart shed garage (implemented – foundations laid) - land Adjacent West Lodge Sedgeford Hall Sedgeford

80/0509/O: Permitted – outline approval – construction of dwelling and cart shed garage - land Adjacent West Lodge Sedgeford Hall Sedgeford

RESPONSE TO CONSULTATION

PARISH COUNCIL: OBJECTION

This application cannot be viewed in isolation and in order for Sedgeford Parish Council to comment we must reference application 21/00030/F.

This application is also retrospective from the same applicant, and relates to the conversion, without planning consent or change of use, of the applicants pre-existing car port and storage area into additional residential accommodation.

The applicant having disposed of this existing facility has now begun to replace same with a substantial new build construction, in a different location within a Conservation Area, again without the required planning consent.

When the Parish Council commented on application ref: 21/00030/F, it was stated that with the swimming pool construction and associated pumping/filtration building, together with the conversion of the existing cart lodge to residential accommodation, it was considered that this site was now overdeveloped, and further development would not be countenanced.

This substantial proposed cart lodge is clearly further over development and cannot be supported by the Council.

The construction contravenes policies H3/H7 and E6 of the Sedgeford Neighbourhood Plan:

- Policy H3:

Infill development within the Development Boundary: Dwellings/Buildings should maintain adequate spacing and not appear cramped on the plot.

- Policy H7:

Residential Extensions: This development is clearly visible to those walking/cycling on Fring Road does not relate well in terms of height, scale and impact on the street scene, does not preserve or enhance the Conservation Area. The proposed building occupies a cramped position between the existing house and a cottage immediately to the left.

- Policy E6:

Dark Skies: Development proposals that include external lighting can cause light pollution which could be harmful to the dark skies which characterise this part of Norfolk.

Substantial and significant development has and is continuing to take place on this site, with no reference to planning law or consideration for the surroundings. There are a number of houses in Sedgeford which could equally begin to carry out such developments, and if a precedent is set other people may well feel confident in progressing down this route, which will cause damage to the Village, the Community and potentially the Conservation Area.

We would ask that this further development is not approved.

CONSERVATION OFFICER: NO OBJECTION

- This will cause no harm to the conservation area

HISTORIC ENGLAND: NO OBJECTION

LOCAL HIGHWAY AUTHORITY: NO OBJECTION

- Condition applies re parking layout

HISTORIC ENGLAND: NO OBJECTION

NORFOLK COAST PARTNERSHIP: NO RESPONSE TO DATE

REPRESENTATIONS

No third party comments have been received

LDF CORE STRATEGY POLICIES

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS11 - Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

NEIGHBOURHOOD PLAN POLICIES

Policy H3: Infill development within the Development Boundary

Policy H7: Residential Extensions

Policy E6: Dark Skies

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

National Planning Policy Framework – sets out the Government’s planning policies for England and how these are expected to be applied.

National Design Guide 2019

PLANNING CONSIDERATIONS

Key Issues

- Principle of development and policy
- Form and Character
- Impact on the locality
- Other considerations

Principle of development and policy:

This site lies at the eastern edge of the built-up area of the Sedgford village, on the south side of Fring Road, within the Conservation Area and AONB.

The application seeks to complete the construction of a 3 bay, mainly open sided, timber cart-port for parking 3 cars, within the existing gravelled parking and manoeuvring area, on the south west side of the curtilage of the dwelling.

In principle, development in this location is acceptable if the proposal accords with the Sedgeford Neighbourhood Plan, the King's Lynn and West Norfolk Borough Council Core Strategy 2011 and the Site Allocations and Development Management Policies Plan (SADMP) 2016. Due consideration is also given to the National Planning Policy Framework 2019, which is a key material consideration.

The main issues in relation to the determination of this application are whether the proposal is acceptable in terms of use and design, particularly given its location in the Conservation Area and AONB, whether it constitutes over-development of the site and whether it will be of detriment to the amenity of the locality.

Sedgeford Neighbourhood Plan:

The site falls within the Sedgeford Neighbourhood Plan area. In their objection, the Parish Council specifically referenced Policies H3/H7 and E6 of the Sedgeford Neighbourhood Plan:

Policy H3: Infill development within the Development Boundary – Dwellings/Buildings should maintain adequate spacing and not appear cramped on the plot.

- Officer comment: This application is not an 'infill' type, thus the policy is not relevant to the application

Policy H7: Residential Extensions – this development is clearly visible to those walking/cycling on Fring Road does not relate well in terms of height, scale and impact on the street scene, does not preserve or enhance the Conservation Area. The proposed building occupies a cramped position between the existing house and a cottage immediately to the left.

- Officer comment: The car-port is an outbuilding, separated from the dwelling and is considered to be relatively discreet in terms of scale, design and siting and does not reduce the available on-site parking spaces

Policy E6 Dark Skies: Development proposals that include external lighting can cause light pollution which could be harmful to the dark skies which characterise this part of Norfolk.

Substantial and significant development has and is continuing to take place on this site, with no reference to planning law or consideration for the surroundings. There are a number of houses in Sedgeford which could equally begin to carry out such developments, and if a precedent is set other people may well feel confident in progressing down this route, which will cause damage to the Village, the Community and potentially the Conservation Area.

- Officer comment: The concern raised over the extent of outdoor lighting is addressed in the officer appraisal. A condition regulating external lighting and informative advice on lighting type are applied.

Form and Character:

This area of Sedgeford is known as Cole Green. There is a small triangular area of green land, a village focal point with memorial thereon, at the junction of Fring Road, where it

emerges into a bend on the through route (Heacham Road / Docking Road). The compact street scene in this location is one of mixed, aged, 2 storey dwellings.

The land at Cole Green House is set back from the junction, situated at the eastern edge of the built-up area of the village, a rural back-drop, with the narrow Fring Road meandering eastward, at a higher level than the site, through agricultural land to Fring.

On the south side of the land, lies a tree belt, disguising the course of the east / west Heacham River valley and the known archaeological sites to the south-west – none of which are affected by this proposal.

The site entrance comprises a shared, surfaced track off Fring Road, serving West Lodge (a single storey detached cottage) prior to reaching Cole Green House. Thereafter it is unsurfaced, leading to the paddock / agricultural land and beyond.

Apart from the adjacent West Lodge, the nearest dwelling north-east to Cole Green House is a modern bungalow on the north side of Fring Road. There are no other dwellings in the immediate vicinity of the Cole Green House.

Cole Green House is a detached two-storey dwelling set-back and fronted by a sizable gravelled parking area which can cater for 6 cars parking. Along with surrounding paddocks south and east, the greater site is set at a much lower level than Fring Road on its western descent from Fring into the Cole Green junction with Docking Road.

It has an open swimming pool and associated plant building to its rear east side, with boundaries in post and rail fencing style. On the northern side of the dwelling, there is a brick-paved amenity yard area enclosed by minimum 2m high laurel hedge – forming the east and south boundaries of the adjacent West Lodge. Abutting the north-eastern edge of the yard is a range of single storey outbuildings, recently approved by the Planning Committee for conversion to create bedroom accommodation and studio conversion on the eastern end of the range.

The outbuilding range backs onto the northern boundary edge, which is actually high level banking, forming a wall, which rises above Fring Road level by approximately 1.8m in the location of the curtilage of this dwelling. That wall, edging the raised Fring Road, reduces in height to approx. 1.3m east of the curtilage of the dwelling.

The timber framed car-port (9m x 5.7m – ridge 3.8m high) subject of this 'retention and completion' application is sited on the south-west boundary of the site. It is proposed to complete the works by adding timber cladding to the low level gable ends and a 900mm high timber 'skirt' to 3 sides of the structure, with access to 3 cars from the northern elevation and the existing open gravelled parking area.

Impact on the locality:

- Scale, design and use:

The site is within the development area of the village. The construction of a car-port, within the curtilage of a dwelling, is acceptable in principle. Given the dimensions and relatively low level height, the open 'cart-shed' style approach in design and proposed materials, this type of structure is considered appropriate to the rural scene, which apart from the village location itself, has a back-drop of green paddock, fields and trees.

Thus, in order to retain views through the car-port to the paddock / rural scene beyond, on the south side of the site, it should be conditioned that no doors should be applied and no

further cladding of the building be allowed without further application being submitted. This will retain the building in a rural design and takes into account the visual aspect of the locality.

Whilst due consideration is given to Policy H3 and H7 of the Sedgeford Neighbourhood Plan, neither directly apply to this proposal. It is of note however, there is no loss of on-site parking and no additional vehicular movements proposed. This proposal should not affect highway movements onto Fring Road.

In addition views of the car-port will be limited to the passer-by travelling east to west along Fring Road, given the low lying level of Cole Green House in comparison to Fring Road, and the fact that the dwelling itself obscures views into the south-west area of the site. In addition, the north / south access road leading to the site tends to curve slightly south-east as it passes by West Lodge and emerges to the site frontage. View into the gravelled frontage of the site, beyond West Lodge, is somewhat restricted from the Cole Green / Fring Road junction

- Impact on the Conservation Area, AONB and visual amenity of the area:

There is a requirement to preserve or enhance the character or appearance of the conservation area.

The Parish Council identify the car-port is visible to passers-by in the vicinity of Cole Green, that the proposal creates a cramped form of development and over-development of the plot, which if approved may encourage precedent in the village.

Each case is viewed on its own merit. Although the site entrance can be identified from Cole Green (south into the access track), there is minimal view from that junction of Cole Green House forecourt or the outbuilding under construction.

It should also be noted that the narrow Fring Road is edged by a 1.3m high wall which rises to approx. 1.8m in the vicinity of Cole Green House, where Fring Road bends slightly to the right on the Cole Green approach.

Cole Green House is a substantial dwelling at a much lower level than Fring Road and whilst the motorist, contending with the road layout ahead, may have a glancing view of part of the actual dwelling, the car-port in question is likely to be out of view. Whilst walking the same route it is likewise considered that, due to the layout and high wall, views of the car-port will be restricted by the setting of the dwelling.

The car-port is offset and thus does not interfere with the facade of the dwelling, being located on the extreme south-west boundary abutting the post and rail boundary line. Albeit the off-set is minimal, it is acceptable in its context with the dwelling, does not over-develop the site nor undermine the rural character of the village.

This timber structure is considered to be of a rural style, constructed in materials acceptable to the locality and, given its low level height, screened by the dwelling, it is unlikely it will create adverse appearance on the setting of the Conservation Area or AONB

There are no neighbour objections and no neighbour issues identified.

- Dark Skies:

In conjunction with Policy E6 of the Sedgford Neighbourhood Plan, the National Planning Policy Framework Clause 125 and Norfolk County Council's Environmental Lighting Zones Policy both recognise the importance of preserving dark landscapes and dark skies.

The applicant has declared 'there are small sensor operated external lights to the dwelling and that will not change'. Whilst existing sensor lights in place are considered to be acceptable and so not require permission in their own right, a condition shall be applied to restrict the appliance of additional outdoor lighting associated with the development, without application.

Informal advice, in line with general advice offered by Norfolk Coast Partnership, is applied relative to any internal light to the car-port.

- Summary:

The proposal is relatively small, utilises an existing parking area, and your officers consider has no adverse impact on the conservation area. Likewise, given its confinement on the site and conditions to be applied restricting additional outdoor lighting and full timber encasement, it is considered there is no material adverse impact on the AONB.

Other Considerations:

Historical research:

- Dwelling and car-port

Historically the site had had approval for the construction of a dwelling with car-port, with the latter sited as that currently under consideration. Whilst site foundations for the dwelling were identified following applications in 1980 and 2002, no build above ground level took place, but technically the works were considered as 'commenced'.

A further application in 2004 identified the aforementioned foundations, but the application differed with a new design to the dwelling and included conversion of outbuildings to form 3 garages. A car-port was not inclusive to that application.

The current owner purchased the site in 2006 and the dwelling was built accordingly. A studio in the outbuilding was created, however, works to the outbuilding to create garages did not progress. More recently that outbuilding was converted to 3 units of bedroom accommodation.

Whilst the site has a complicated history, there is no current garage facility and it may be considered there is argument in support of the current proposal, given historical approval for siting, scale and design much the same as that currently proposed.

Crime and disorder:

There are no known crime and disorder issues associated with this site or proposal

CONCLUSION:

It is considered that the proposed car-port is of an acceptable design and scale, which does not overdevelop the site, which will not impact adversely on the character and appearance of the locality or neighbour amenity and would not create a detrimental impact upon the Conservation Area or AONB.

The fact that this application is retrospective is not in itself a reason for refusing the application. Historically, a car-port in the current location had been approved on two previous occasions.

Overall, the proposal is considered to be in accordance with the requirements of the Sedgeford Neighbourhood Plan, the Core Strategy 2011 and the Site Allocations and Development Management Policies Plan (SADMP) 2016, as well as the National Planning Policy Framework 2019. It is therefore recommended this application be approved.

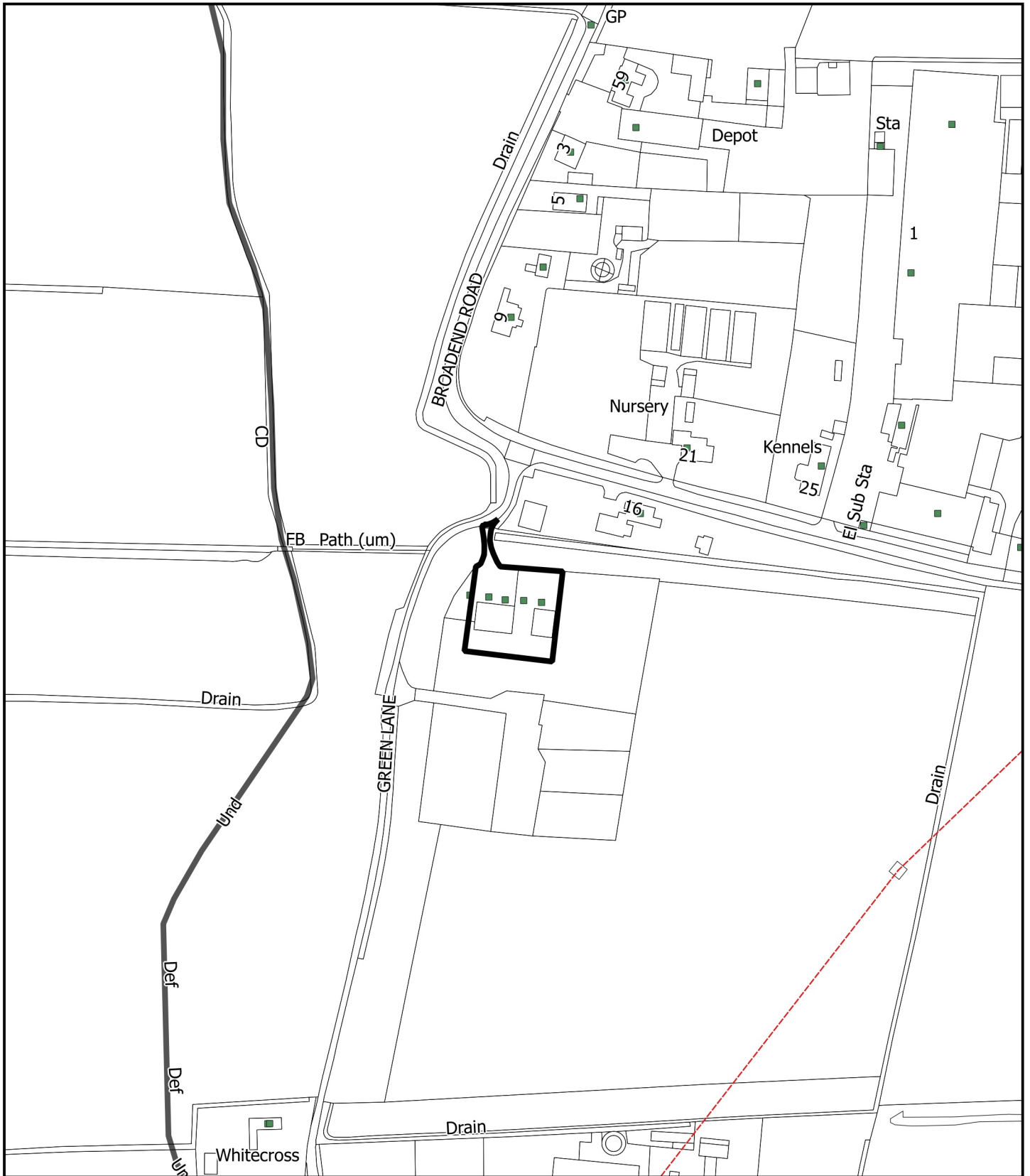
RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition The development hereby permitted shall be carried out in accordance with the following approved plan:
 - Block plan, roof plan, elevations, layout and west elevation in context with dwelling frontage - drawing 2233/10 – receipt dated 4/03/21
- 1 Reason For the avoidance of doubt and in the interests of proper planning.
- 2 Condition Prior to the first use of the development hereby permitted the proposed on-site car parking/turning area shall be laid out, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 2 Reason To ensure the permanent availability of the parking / manoeuvring areas, in the interests of satisfactory development and highway safety, in accordance with the NPPF 2019
- 3 Condition No lighting to the exterior of the cart-shed development hereby approved shall be allowed without a detailed lighting scheme being submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the type of lights, the orientation/angle of the luminaries, the spacing and height of the lighting columns, the extent/levels of illumination over the site and on adjacent land and the measures to contain light within the curtilage of the site. The scheme shall be implemented in accordance with the approved scheme and thereafter maintained and retained as agreed.
- 3 Reason In the interests of 'dark skies' and the overall amenity of this locality, in accordance with the NPPF 2019, Policy CS12 of the Core Strategy 2011 and Policy DM15 of the SADMP 2016
- 4 Condition Other than the areas of cladding to the cart-shed hereby approved, no additional cladding or doors shall be applied to the building without first a further application being made to the Local Planning Authority.
- 4 Reason In the interests of the amenity of the rural back-drop to this location, in accordance with the NPPF 2019 and Core Strategy Policies CS08 and CS12.

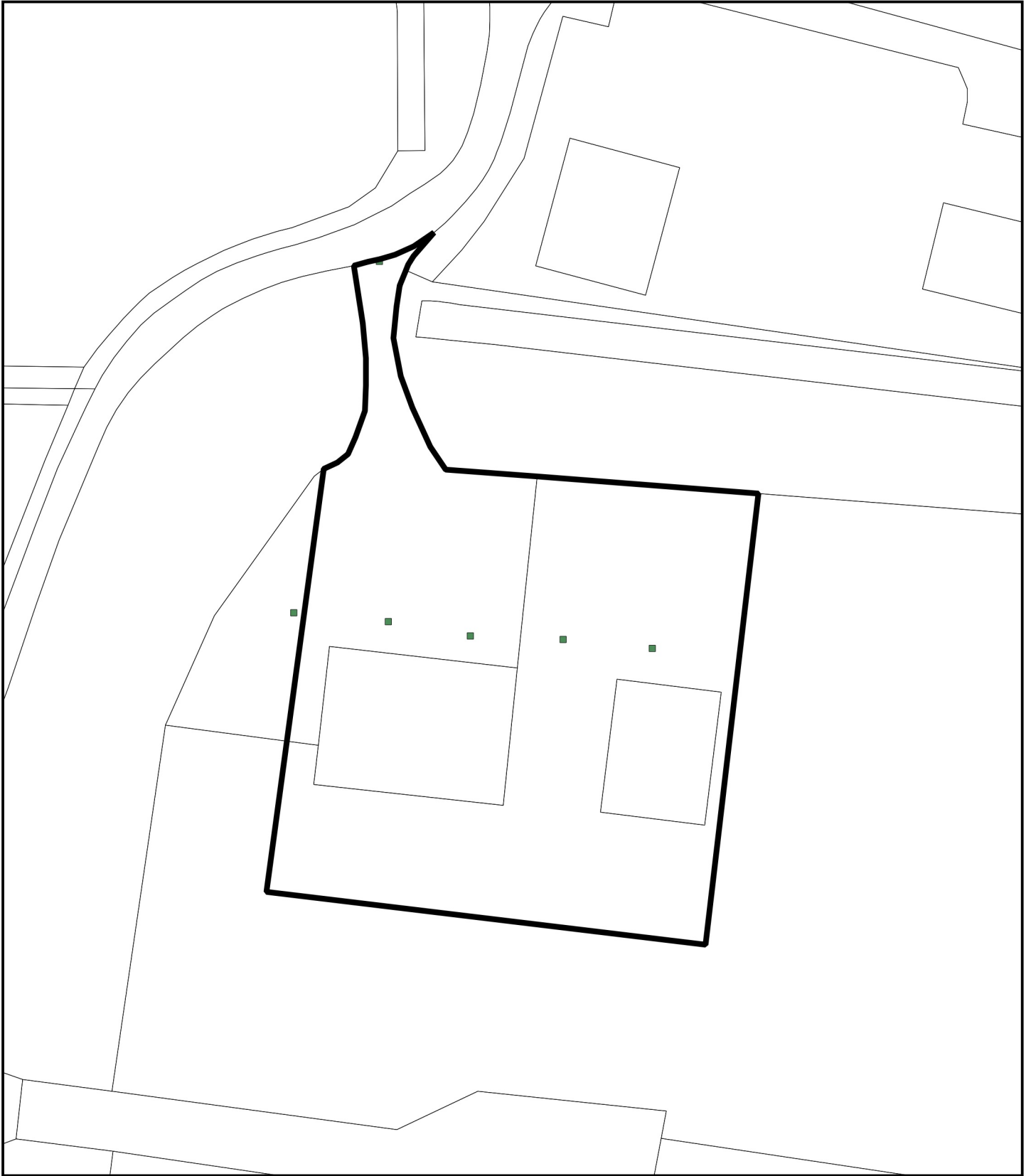
21/00205/F

Manor House Farm Nurseries Green Lane Walsoken



21/00205/F

Manor House Farm Nurseries Green Lane Walsoken



AGENDA ITEM NO: 8/2(g)

Parish:	Walsoken	
Proposal:	Proposed residential development, involving demolition of existing buildings benefitting from prior notification approval for 5 dwellings	
Location:	Manor House Farm Nurseries Green Lane Walsoken Wisbech	
Applicant:	Mr and Mrs Griffin	
Case No:	21/00205/F (Full Application)	
Case Officer:	Mr K Wilkinson	Date for Determination: 20 April 2021 Extension of Time Expiry Date: 17 June 2021

Reason for Referral to Planning Committee – The views of the Parish Council are contrary to the Officer recommendation and at the instruction of the Sifting Panel on 07 April 2021.

Neighbourhood Plan: No

Case Summary

The site lies on the eastern side of Green Lane, Walsoken approx. 35m south of its junction with Broadend Road. The site contains two redundant agricultural buildings which have a history of permissions for conversion into dwellings. The most recent is a prior notification to convert the two buildings into 3 and 2 dwellings respectively (ref: 20/01849/PACU3) which is extant.

This application seeks to construct two new buildings – one containing three dwellings and one containing two dwellings. These would effectively replace the 5 units with extant prior approval consent, which is a ‘fall-back’ position and a material consideration in determining this full application.

The site lies within an area classed as countryside and within Flood Zone 1 of the Strategic Flood Risk Assessment.

Key Issues

Principle of development
Impact upon character and appearance of the countryside
Access and highway implications
Other material considerations

Recommendation

APPROVE

THE APPLICATION

The site lies on the eastern side of Green Lane, Walsoken approx. 35m south of its junction with Broadend Road. The site contains two redundant agricultural buildings which have a history of permissions for conversion into dwellings. The most recent is a prior notification to convert the two buildings into 3 and 2 dwellings respectively (ref: 20/01849/PACU3) which is extant.

This application seeks to construct two new buildings – one containing three dwellings and one containing two dwellings. These would effectively replace the 5 units with extant prior approval consent, which is a ‘fall-back’ position and a material consideration in determining this full application.

The proposal seeks a block of three 3 bedroomed units and a pair of 3 bedroomed units on the siting of the existing buildings, with associated south-facing gardens and parking/turning areas.

The site lies within an area classed as countryside and within Flood Zone 1 of the Strategic Flood Risk Assessment.

SUPPORTING CASE

The Agent raises the following statement in support of this application:

“This Statement supports the Full Planning Application for a residential development at Green Lane, Walsoken involving the replacement of existing barns benefitting from an extant approval for 5 dwellings (20/01849/PACU3). In addition, the large barn benefits from an extant approval for conversion to a single dwelling under reference 20/00709/F which also includes a large area of residential curtilage and triple garage.

This scheme is consistent with these approvals as well as other approvals within the district which have been approved to replace existing barns acknowledging the fall-back position of conversion under the permitted development regulations.

It is proposed to demolish the existing barns on site (with approval for 5 dwellings) and construct 5 dwellings comprising of a pair of semi-detached dwellings and a terrace of 3 dwellings. We believe this proposal will deliver a better-quality scheme, enhancing the site and occupant amenity as well as delivering a scheme that is respectful of the area.

The proposal has been designed to be sympathetic with the nature of this site and reflect a more contemporary solution for the site. Although contemporary the proposal has taken inspiration from agricultural buildings. The submitted drawings demonstrate that the site can comfortably accommodate the dwelling together with the required amenity space, parking and turning.

The proposed level of accommodation along with the proposed form and massing are conveyed on the drawings provided. This level of redevelopment is considered to provide a high-quality scheme that enhances the current use of the site. It reflects the agricultural nature of the site and previous approvals to create a more sustainable, higher quality scheme.

The site is located within Flood Zone 1 as defined on the Environment Agency’s Flood Maps.

We also note the Parish Council objection and comments and respond to these below:

1. Noted, however, approval already exists on the site for 5 dwellings of a similar scale and size and therefore this application will not represent an increase over and above the extant approval.
2. Noted, however, approval already exists on the site for 5 dwellings of a similar scale and size and therefore this application will not represent an increase over and above the extant approval. In addition, highways have no objection to the proposal.
3. The trees are not within the applicant's ownership and not included within the red line, however, our assumption would be that with an occupied site, maintenance would be more proactive.
4. The proposal has been designed to be sympathetic to the surrounding area and in our opinion represents a better scheme than the extant approval. Also as noted the site already benefits from approval for 5 dwellings.
5. Thank you for the previous support for residential development of the site.”

PLANNING HISTORY

20/01849/PACU3: Prior Approval – Approved (Delegated): 13/01/21 - Notification for Prior Approval for change of use of agricultural buildings to 5 dwellings (Schedule 2, Part 3, Class Q)

20/00709/F: Application Permitted (Delegated): 02/09/20 - Proposed barn conversion to dwelling and garage block

18/00817/PACU3: Prior Approval – Approved (Delegated): 17/08/18 - Prior notification for a change of use from an agricultural building to a dwelling house

18/00114/PACU3: Prior Approval – Approved (Delegated): 09/03/18 - Prior Notification: Change of use of agricultural building to a dwelling house

16/01195/PACU3: Prior Approval - Not Required (Delegated): 28/09/16 - Change of use of agricultural buildings to two dwellings (C3)

RESPONSE TO CONSULTATION

Parish Council: DO NOT SUPPORT – for the following reasons –

1. This site has been redundant for many years, with less than one vehicle on average accessing the property in any week. Access by building supplies companies and concrete lorries for example could destroy the road surface at the entrance to Green Lane, due to the volumes of trucks during this build.
2. Green Lane is a very narrow rural lane with very poor visibility, particularly for any vehicles coming out of the proposed housing onto the lane. If 5 houses are built there could easily be in excess of 10 vehicles which could be a safety issue especially as it's already very difficult for pedestrians to walk safely along the lane.
3. Whilst it's not completely clear where the boundary of ownership of the site lies, the trees on that corner regularly overgrow the road, and we have to request that the owner cuts them back, as they don't seem to automatically take responsibility.

4. The erection of 5 dwellings will have a potentially significant impact on neighbours and infrastructure,
5. The Parish Council supported the earlier application on this site for a change of use to 2 dwellings as it was felt this was more suited to the site.

Highways Authority: NO OBJECTION - Mindful that the site has permission for the same number of dwellings under planning reference 20/01849/PACU3 which is without highway related conditions. On balance of that, and the class uses that the site would currently hold, I would not seek to restrict the grant of permission.

Internal Drainage Board: No response received

Environmental Health & Housing – Environmental Quality: NO OBJECTION subject to conditions relating to contamination remediation.

District Emergency Planning Officer: NO OBJECTION - Because of its location in an area that during an extreme flood event could become isolated from safe access and egress routes (i.e. become a dry island), I would suggest that the occupiers:

Should sign up to the Environment Agency flood warning system; and prepare a flood evacuation plan.

Environment Agency: NO COMMENT

REPRESENTATIONS None received

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS11 - Transport

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)
National Design Guide 2019

PLANNING CONSIDERATIONS

The key issues for consideration in assessing this application are as follows:

- Principle of development
- Impact upon character and appearance of the countryside
- Access and highway implications
- Other material considerations

Principle of development

Class Q, Part 3, Schedule 2 of the Town & Country Planning (General Permitted Development) Order 2015 as amended allows the conversion of redundant agricultural buildings into dwellings subject to meeting certain criteria. A proposal for conversion into 5 dwellings has been assessed under application ref: 20/01849/PACU3 and granted consent on 13 January 2021 for 5 dwellings.

As stated above, this current proposal is a full application for 5 new dwellings contained within two buildings as a replacement development for the barn conversions approved under application ref: 20/01849/PACU3, which is extant and a significant material consideration in terms of 'fall-back' position.

The status of a fall-back development as a material consideration is not a new concept and has been applied in court judgements such as 'Samuel Smith Old Brewery v The Secretary of State for Communities & Local Government, Selby District Council and UK Coal Mining Ltd'. This decision states that for a fall-back position to be a 'real prospect', it does not have to be probable or likely: a possibility will suffice. It is also noted that 'fall-back' cases tend to be very fact-specific and are a matter of planning judgement. Examples are given within the judgement where for instance there may be an old planning application which is still capable of implementation or where it could be argued that the impact of that which was permitted development would be much the same as the impact of the development for which planning permission was being sought.

The concept of 'fall-back' is also considered more recently in 'Michael Mansell v Tonbridge & Malling Borough Council' where approval was given for the redevelopment of the site of a large barn and a bungalow to provide four dwellings. The judgement covers more than one aspect of the decision but makes reference to Class Q of the GDPO as a 'fall-back' position and reiterates the comments made in the Samuel Smith Old Brewery case that the council should satisfy itself that there was a 'real prospect' of the fall-back development being implemented, although it was again reiterated that the basic principle is that 'for a prospect to be a real prospect, it does not have to be probable or likely; a possibility will suffice'.

Consequently taking the above into account it is considered that there is a 'real prospect' of the applicant implementing the fall-back position of converting the existing buildings given that the consent is extant and has over two and a half years to run. This is therefore a material consideration of significant weight in the determination of this application.

It will also be noted from the History section above that the western-most building also has permission for conversion of the barn into a dwelling and a new garage block (approved under ref: 20/00709/F) which is also extant.

The principle of the development is therefore considered to be already established given these circumstances.

The Parish Council indicate a preference for two dwellings but there remains the extant prior notification consent for 5 dwellings in total on this site which could be built out immediately.

Notwithstanding the above there is still planning judgement to be exercised, particularly in relation to the design solution chosen here, which is significantly different than the extant approval for a conversion. Commentary on this aspect is detailed below.

Impact upon character and appearance of the countryside

The site presently contains two utilitarian agricultural buildings metal framed and mostly metal cladding to roof and walls, but some brickwork and blockwork.

This application seeks to build two new buildings in red antique facing bricks and double pantiled roofs. The proportions of the western-most building is very similar to those of the existing with a reduced girth from 12m to 11m and increased length from 17.25m to 18m. The eave height is 5m (increase of 500mm) and ridge height is 6.6m (increase of 300mm) which provides more typical domestic room heights within the structure. This would accommodate three 3 bedroomed residential units.

The proportions of the eastern-most building has a similar girth at 12.6m (increase of 400mm) and increased length from 9m to 12.8m. The eave and ridge heights of 5m and 6.7m (increases of 1300mm respectively) which are similar to those of the western block. This would accommodate two 3 bedroomed residential units (opposed to two 2 bedroomed units in the conversion scheme).

The approved scheme under the permitted development regime retained the proportions of the agricultural buildings and used cladding as the main external material. There is no doubt the original design and proportions were more rustic and barn-like in appearance, whereas the current scheme is of a more domestic scale and appearance. This will be a particular consideration for the Committee.

Finally, it should be pointed out that the site is well screened by established peripheral landscaping on all sides, and views into and out of the site are limited.

Access and highway implications

The Parish Council raise concerns regarding adverse impact from construction traffic upon the surface of Green Lane and poor visibility.

The Local Highway Authority (LHA) do not share these concerns given the former agricultural use of the site and buildings which could have generated unrestricted tractor and HGV movements, plus the extant conversion consent.

Any damage caused to Green Lane would be the responsibility of the developer to rectify and a matter for the LHA to control rather than the Local Planning Authority.

The LHA suggests a condition to secure the parking and turning areas within the site, which may be added to any permission. Two spaces per dwelling meets the adopted parking standards for 3 bedroomed dwellings.

The proposal therefore accords with the provisions of Policy CS08 of the Core Strategy (2011) and Policies DM15 & DM17 of the SADMPP (2016).

Other material considerations

The inter-relationship with adjoining property is considered to be acceptable in light of the orientation of windows and related rooms served. The nearest neighbours (16 Broadend Road) lie approx. 40m to the north-east of the site and as mentioned earlier in this report, there is good peripheral established landscaping which contains the site.

Foul water is proposed to be dealt with via a package treatment plant and surface water by soakaway – both to be dealt with by Building Regulations as per previous approvals.

The removal of any asbestos-containing materials is covered by separate legislation, however given the previous use a remediation scheme has been submitted and conditions are proposed by Environmental Quality.

The site lies in Flood Zone 1 and is within a Dry Island as indicated in the Council-adopted SFRA. The request of the District Emergency Planning Officer is noted, however the issue will be addressed by an informative note rather than a condition, due to failing the tests applied to use of conditions in relation to enforceability.

There are no significant Crime and Disorder issues raised by this proposal.

CONCLUSION

This is a proposal for the replacement of existing buildings, which can be converted under an extant consent, on a well-screened site on Green Lane in Walsoken. The principle of development is long established on this site.

The key issue in this case however is considered to be whether the proposed design of the scheme is appropriate for this rural locality. Previously approved schemes have used more rustic materials or design, and the proportions have reflected the proportions of the existing buildings. The current scheme is undoubtedly more domestic in appearance and scale, with little reference to the existing agricultural buildings. The Committee will therefore need to consider which is the preferred approach. On balance, officers feel they can recommend approval of this scheme put forward.

All other issues are considered to be acceptable, and whilst the concerns of the Parish Council are noted, the proposal is for the construction of 5 new dwellings in the form of a block of three and pair of semi-detached units, in a similar format to those already granted consent under permitted development rights/procedure (which is extant and a fall-back position and a material consideration of significant weight). The site also has the benefit of an extant permission to convert the western-most building into a single barn style dwelling and a new garage block (approved under ref: 20/00709/F).

Given the above commentary the proposal is therefore considered to accord with the provisions of the NPPF, Core Strategy Policies CS06, CS08 & CS11 of the LDF and Policies DM15 & DM17 of the SADMPP. It is duly recommended for approval subject to certain conditions stated below.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

1 Condition The development hereby permitted shall be begun before 21 September 2023.

1 Reason To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.

2 Condition The development hereby permitted shall be carried out in accordance with the following approved plans: PP2000 Revision B & PP2100 Revision B.

2 Reason For the avoidance of doubt and in the interests of proper planning.

3 Condition The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of groundworks, other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the Local Planning Authority.

3 Reason To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors. This needs to be a pre-commencement condition given the need to ensure that contamination is fully dealt with at the outset of development.

4 Condition In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with a scheme to be agreed with the Local Planning Authority, and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

4 Reason To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

5 Condition Prior to the first use of the development hereby permitted the proposed access, on-site car parking and turning areas shall be laid out, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.

5 Reason To ensure the permanent availability of the parking/manoeuvring areas, in the interests of satisfactory development and highway safety and to accord with the provisions of the NPPF, Core Strategy Policies CS08 & CS11, and Policies DM15 & DM17 of the SADMP.

- 6 Condition Notwithstanding the provisions of Schedule 2, Part 1, Classes A to H inclusive of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the enlargement, improvement or other alteration to the dwelling house, additions or alterations to the roof, porches, buildings etc. incidental to the enjoyment of the dwelling house, hard surfaces, chimneys, flues etc. and microwave antenna, shall not be allowed without the granting of specific planning permission.
- 6 Reason In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order, as this is effectively a new dwelling in the countryside and to accord with the provisions of Core Strategy Policies CS06 & CS08 of the LDF, and Policy DM15 of the SADMPP.

PLANNING COMMITTEE – 14 JUNE 2021

UPDATE ON TREE MATTERS

Prepared by Richard Fisher, Arboricultural Officer

1.0 Introduction

- 1.1 This report seeks to update Members on recent Tree Preservation Orders (TPO's) that have been served from November 2020 to 30 April 2021, along with a summary on some of the other aspects of the work undertaken in relation to trees.

2.0 Summary of Work

- 2.1 Set out in table 1 is a breakdown of the numbers of the various types of applications or work types carried out during the period.
- 2.2 Members will be aware that tree work applications have to be responded to within 6 weeks in the case of a conservation area notification, and 8 weeks in the case of a TPO tree work application. If responses are not received within these timescales the work is deemed to be acceptable and can be carried out.
- 2.3 There is a requirement for planning applications to be responded to well within the 8 or 13 week time period, to ensure applications can be dealt with within the requisite time period. There is also a requirement to respond to discharge of conditions with a specified time period, to ensure development can commence.
- 2.4 Although not time specific, the serving of a new TPO is often a matter of urgency in order to prevent the trees being felled or inappropriate pruning taking place. Once served there are time limits for objections to be received, and responses to be sent and the matter placed before the Planning Committee. If this is not all completed within 6 months of the serving then the TPO will lapse.
- 2.5 In addition to this there have been a number of pre application site visits undertaken for both tree work applications and planning applications, as well as the general day to day tree related enquiries that have to be addressed during the course of the day.

*Table 1 – Breakdown of tree related applications and work received since
6 months from 1 November 2020 to 30 April 2021*

	Numbers
Planning Applications	Within the 6 Month period
Planning Applications considered	163
Pre-Applications considered	15
Applications to discharge tree and landscape conditions	30
New Tree Preservation Orders	
New TPO's served	3
TPO's with objections received (require Planning Committee confirmation)	1
Still to be confirmed	1
Tree Work Applications/Notifications	
Conservation Area Notifications approved	101
Conservation Area Notification Refused (TPO Served)	1
Conservation Area Notification Pending	0
Tree Preservation Order applications approved	37
Tree Preservation Order applications refused/partially refused	6
Tree Preservation Order applications appealed	1
Tree Preservation Order application pending	1

3.0 Details of TPO's Served and Confirmed since November 2020

- 3.1 Three TPO's have been served since November 2020. Where no objections have been received they can be confirmed under delegated powers. When objections have been received these will need to be considered by the Planning Committee, as to whether or not the TPO is confirmed. Since November 2020 one TPO has been confirmed under delegated powers at Church Walk, Burnham Market, one has not been confirmed at Greevegate in Hunstanton as further information came to light as to the condition of the relevant trees, and one at The Old Hall in Snettisham has yet to go to committee for consideration.
- 3.2 We have received a single appeal relating to decisions regarding works to protected trees; this is still in the appeal process and we are awaiting the decision.

4.0 Recommendation

- 4.1 That members of the Planning Committee note the contents of the report.

PLANNING COMMITTEE -

APPLICATIONS DETERMINED UNDER DELEGATED POWERS

PURPOSE OF REPORT

- (1) To inform Members of the number of decisions issued between the production of the May Planning Committee Agenda and the June agenda. 168 decisions issued 157 decisions issued under delegated powers with 11 decided by the Planning Committee.
- (2) To inform Members of those applications which have been determined under the officer delegation scheme since your last meeting. These decisions are made in accordance with the Authority’s powers contained in the Town and Country Planning Act 1990 and have no financial implications.
- (3) This report does not include the following applications – Prior Notifications, Discharge of Conditions, Pre Applications, County Matters, TPO and Works to Trees in a Conservation Area
- (4) Majors are assessed against a national target of 60% determined in time. Failure to meet this target could result in the application being dealt with by Pins who will also receive any associated planning fee.

RECOMMENDATION

That the reports be noted.

Number of Decisions issued between 28/04/21 – 01/06/21

	Total	Approved	Refused	Under 8 weeks	Under 13 weeks	Performance %	National Target	Planning Committee decision	
								Approved	Refused
Major	5	5	0		5	100%	60%	5	0
Minor	65	59	6	57		88%	80%	2	2
Other	98	91	7	94		96%	80%	1	1
Total	168	155	13						

Planning Committee made 11 of the 168 decisions, 6%

PLANNING COMMITTEE -

APPLICATIONS DETERMINED UNDER DELEGATED POWERS

PURPOSE OF REPORT

To inform Members of those applications which have been determined under the officer delegation scheme since your last meeting. These decisions are made in accordance with the Authority's powers contained in the Town and Country Planning Act 1990 and have no financial implications.

RECOMMENDATION

That the report be noted.

DETAILS OF DECISIONS

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DATE RECEIVED	DATE DETERMINED/ DECISION	REF NUMBER	APPLICANT PROPOSED DEV	PARISH/AREA
23.04.2021	13.05.2021 Application Permitted	21/00824/AG	The Prairie Queen Elizabeth Way King's Lynn Norfolk Agricultural Prior Notification: Open fronted straw shed to house bedding and feed for existing livestock and storage of machinery	Bawsey
03.03.2021	05.05.2021 Application Permitted	21/00407/F	Summerfield House Lynn Road Great Bircham King's Lynn Proposed cart shed	Bircham

16.12.2020	28.04.2021 Application Permitted	20/02029/F	Old School House 1 School Pastures Burnham Deepdale King's Lynn Single Storey Side and infill Extension between Main House and School House, Dormer Windows to School House, replacement of roof over garage, replacement of windows and doors throughout, solar PV panels and air source heat pump to rear and side of main house	Brancaster
08.02.2021	29.04.2021 Application Permitted	21/00224/F	Woodthorpe Villa Main Road Brancaster Staithe King's Lynn Remove existing dormer windows and erect new single dormer window. Remodel rooms in the roof.	Brancaster
24.02.2021	10.05.2021 Application Refused	21/00465/F	Thainstone House 15 Anchorage View Brancaster King's Lynn Addition of first floor balcony and new doorway to access balcony from first floor sitting room.	Brancaster
23.03.2021	01.06.2021 Application Permitted	18/01261/NMA_3	Brancaster Village Hall Main Road Brancaster KINGS LYNN NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 18/01261/F: Single storey rear and side extensions, and alterations to community building	Brancaster
25.03.2021	14.05.2021 Application Permitted	21/00590/F	Crosstrees 3 South Corner Brancaster King's Lynn Extension to the rear and side of property	Brancaster

09.04.2021	06.05.2021 Application Permitted	20/01558/NMA_1	York Cottage London Street Brancaster King's Lynn NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 20/01558/F: Extension to the south elevation of the dwelling and renovation to the existing property	Brancaster
02.02.2021	28.05.2021 Application Permitted	21/00179/F	The Old Rectory Overy Road Burnham Market King's Lynn Installation of replacement domestic swimming pool within gardens of dwelling	Burnham Market
18.02.2021	19.05.2021 Application Permitted	21/00305/F	The Poachers 44 Front Street Burnham Market Norfolk Extension and alterations to dwelling	Burnham Market
18.02.2021	19.05.2021 Application Permitted	21/00306/LB	The Poachers 44 Front Street Burnham Market Norfolk Listed building application for extension and alterations to dwelling	Burnham Market
05.03.2021	19.05.2021 Application Permitted	21/00429/F	Goosebec Church Walk Burnham Market King's Lynn Variation of Condition 1 of Planning Permission 20/01680/F: Demolition of existing dwelling and erection of five dwellings (Revision Of 20/00744/F)	Burnham Market

12.03.2021	06.05.2021 Application Permitted	20/00542/NMA_1	Norton Great Barn 5 Blacksmiths Lane Burnham Norton Norfolk NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 20/00542/F: Alterations to outbuilding to form two covered parking bays, a gym/studio and log store	Burnham Norton
12.03.2021	05.05.2021 Application Permitted	21/00676/LB	Norton Great Barn 5 Blacksmiths Lane Burnham Norton Norfolk Alterations to outbuilding to form enclosed parking, gym/ studio, and log store (incorporating minor design revision -timber panel in lieu of glazed panel).	Burnham Norton
08.07.2020	24.05.2021 Application Refused	20/00994/O	Glebe Wood Gong Lane Burnham Overy Staithe Norfolk Outline application for construction of two dwellings	Burnham Overy
15.03.2021	24.05.2021 Application Permitted	21/00505/F	1 Baileygate Cottages Stocks Green Castle Acre King's Lynn Proposed roof conversion to create second bedroom / home office, including alterations at First Floor level with the removal of non-breathable wall linings / replacement with Lime plaster and the replacement on a like for like basis of the front door and 2no sash windows	Castle Acre

15.03.2021	24.05.2021 Application Permitted	21/00506/LB	1 Baileygate Cottages Stocks Green Castle Acre King's Lynn Listed Building Application: Proposed roof conversion to create second bedroom / home office, including alterations at First Floor level with the removal of non-breathable wall linings / replacement with Lime plaster and the replacement on a like for like basis of the front door and 2no sash windows	Castle Acre
01.03.2021	12.05.2021 Application Permitted	21/00380/F	32 Hall Road Clenchwarton King's Lynn Norfolk Proposed extension and alterations	Clenchwarton
29.03.2021	01.06.2021 Application Permitted	20/01743/NMA_1	Primrose House St Andrews Lane Congham KINGS LYNN NON MATERIAL AMENDMENT to Planning Permission 20/01743/F: Extensions and alterations to vehicular highway access	Congham
01.03.2021	07.05.2021 Application Permitted	21/00525/F	Tudor Cottage Main Road Crimplesham King's Lynn Extension and alterations to dwelling	Crimplesham

12.03.2021	20.05.2021 Application Permitted	21/00495/A	Service Station Downham Road Crimplesham Norfolk A- 3580mm x 5510mm Pylon Sign B- Wall Mounted Sign x2 C- Built up Letters D- 600mm x 400mm Opening Hours Sign E- 1330mm x 2000mm Directional Totem F- Single Parking Sign 'P' G- Single Parking Sign 'Parent & Child' H- Single Parking Sign 'Disabled' I- Single Parking Sign 'Demonstrator' J- 6m Flag Pole K- 1038mm x 2120mm Selekt Comms Panel L- 488mm x 1820mm Selekt Totem M- 12.5m Selekt Wall N- 3.6m Entrance Portal	Crimplesham
12.03.2021	11.05.2021 Application Permitted	21/00646/F	Service Station Downham Road Crimplesham Norfolk Internal alterations to showroom and workshop and external re-branding of existing motor retail facility.	Crimplesham
15.02.2021	19.05.2021 Application Permitted	21/00274/RM	12 Gelham Manor Dersingham KINGS LYNN Norfolk Reserved Matters Application: Construction of one dwelling	Dersingham

17.02.2021	29.04.2021 Application Refused	21/00290/F	Victoria House 3 Manor Road Dersingham King's Lynn Construction of double garage to front of property and associated turning area. Removal of existing front fence, new estate fencing. Removal of 3 trees and replanting with 4.	Dersingham
25.02.2021	06.05.2021 Application Permitted	21/00482/F	2 Doddshill Road Dersingham Norfolk PE31 6LW Removal of existing garage and outbuildings to erect a re-modeled outbuilding with a pitched roof which will include a potting shed, storage and outside shaded seating area. Re-install outside toilet.	Dersingham
02.03.2021	27.05.2021 Application Permitted	21/00638/F	15 Crest Road Dersingham King's Lynn Norfolk Garage conversion to kitchen and dining room and insertion of side window (obscure glass) and replace existing flat roof with pitched roof.	Dersingham
16.03.2021	01.06.2021 Application Permitted	21/00519/F	3 Sugar Lane Dersingham King's Lynn Norfolk Single Storey Rear Extension	Dersingham
23.03.2021	19.05.2021 Application Permitted	21/00569/F	41 Lynn Road Dersingham King's Lynn Norfolk Proposed single storey rear extension (re design)	Dersingham

27.04.2021	28.05.2021 Tree Application - No objection	21/00087/TREECA	Victoria House 3 Manor Road Dersingham King's Lynn Tree in a Conservation Area: Cotoneaster T1 fell to the ground	Dersingham
16.01.2020	14.05.2021 Application Permitted	20/00078/FM	Dreamy Hollow Woodland Campsite Fakenham Road Stanhoe Norfolk Application for a western extension to the existing campsite, 18 additional tent pitches, landscaping including noise attenuation bunds, ecological enhancements, car park extension, and regularisation of the warden accommodation but with off-season holiday let	Docking
16.03.2021	11.05.2021 Application Permitted	21/00518/F	Oak Tree House Brancaster Road Docking KINGS LYNN Proposed Cart Shed and Garden Store	Docking
06.04.2021	18.05.2021 Application Permitted	16/00866/NMAM_1	2 Manor Road Docking KINGS LYNN Norfolk NON-MATERIAL AMENDMENT of Planning Permission 16/00866/OM: OUTLINE APPLICATION SOME MATTERS RESERVED: Proposals for 33 new dwellings with means of access from the public highway from Pound Lane and a pedestrian route off Well Street with all other matters reserved for approval.	Docking

01.02.2021	01.06.2021 Application Permitted	21/00168/O	126 Bexwell Road Downham Market Norfolk PE38 9LJ Outline Application (some matters reserved) for 1 bungalow and construction of new access to donor dwelling	Downham Market
10.02.2021	06.05.2021 Application Permitted	21/00353/A	Land At 161 Bexwell Road Downham Market Norfolk Advertisement Application: 3 No Fascia signs 4 no Directional signs 1 No Mini Totem and 2 No Menu Boards	Downham Market
11.02.2021	14.05.2021 Application Permitted	21/00248/O	Site Between 19 And 21 Park Lane Downham Market Norfolk OUTLINE APPLICATION (ALL MATTER RESERVED): Proposed Residential Development	Downham Market
15.02.2021	01.06.2021 Application Permitted	21/00272/F	19 Lynn Road Downham Market Norfolk PE38 9NJ Single Storey Rear Extension	Downham Market
23.02.2021	26.05.2021 Application Permitted	21/00461/F	Monkey Puzzle Lodge 128 Lynn Road Downham Market Norfolk Variation of Condition 2 of Planning Permission 19/01948/F: to amend drawings	Downham Market
11.03.2021	19.05.2021 Application Permitted	21/00636/CU	47 & 49 Bridge Street Downham Market Norfolk PE38 9DW Change of Use of shop space to allow use by flats above	Downham Market

12.04.2021	26.05.2021 Application Permitted	20/00116/NMA_1	84 Howdale Road Downham Market Norfolk PE38 9AH NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 20/00116/F: Construction of replacement dwelling & garage	Downham Market
20.11.2020	14.05.2021 Application Permitted	20/01833/F	The Firs 32 Bagthorpe Road East Rudham King's Lynn Proposed addition of part first floor to barn conversion approved under ref: 18/00379/F	East Rudham
29.01.2021	14.05.2021 Application Withdrawn	21/00263/F	15 Eye Lane East Rudham King's Lynn Norfolk .Proposed side extension	East Rudham
19.03.2021	30.04.2021 Tree Application - No objection	21/00050/TREECA	Leonardslee Broomsthorpe Road East Rudham KINGS LYNN T1 Apple Tree - Removal of epicormic growths, cut back crown by approximately 1 - 1.5m, prune out the crossing branches within the crown and removal of dead branch within a conservation area	East Rudham
09.02.2021	27.04.2021 AG Prior Notification NOT REQD	21/00228/AG	Woodland S of West Bilney Wood N of Holder Carr Common Road West Bilney Norfolk Agricultural Prior Notification: Toolshed	East Winch
17.03.2021	21.05.2021 Application Permitted	21/00526/F	11 Wilson Drive East Winch King's Lynn Norfolk Proposed extension to the rear and internal alterations to an existing dwelling.	East Winch

05.02.2021	04.05.2021 Application Permitted	21/00212/RM	Land North of 72 Gaultree Square Emneth Norfolk RESERVED MATTERS: Proposed pair of detached dwellings with integral garages	Emneth
15.03.2021	29.04.2021 AG Prior Notification NOT REQD	21/00669/AG	Manor Farm 29 Short Beck Feltwell Thetford Agricultural Prior Notification: Proposed general purpose farm building	Feltwell
26.03.2021	01.06.2021 Would be Lawful	21/00598/LDP	19 St Johns Way Feltwell Thetford Norfolk Lawful Development Certificate: Single storey extension to rear of existing dwelling. Additional lounge, bedroom and en-suite to be provided forming a bedsit to accommodate and care for the elderly parent of the occupant.	Feltwell
22.04.2021	20.05.2021 Application Permitted	16/00087/NMA_1	Ravenscroft Main Road Fincham King's Lynn NON MATERIAL AMENDMENT TO PLANNING CONSENT 16/00087/O: Outline Application: two detached dwellings	Fincham
11.03.2021	06.05.2021 Prior Approval - Refused	21/00628/PACU3	Agricultural Building Off Docking Road Fring Norfolk Notification for Prior Approval for change of use of agricultural building to one dwelling (Schedule 2, Part 3, Class Q)	Fring

21.01.2021	25.05.2021 Application Permitted	21/00192/F	6 Brooks Close Gayton KINGS LYNN Norfolk Variation of Condition 1 - Plot 6 only of Planning Permisison 17/02355/RMM: Reserved Matters Application for 10 detached/linked detached dwellings	Gayton
25.03.2021	25.05.2021 Application Permitted	21/00587/F	42 Sunnyside Road Great Massingham King's Lynn Norfolk Front porch	Great Massingham
26.02.2021	28.05.2021 Application Permitted	21/00364/F	Chestnut Stables Cliffe En Howe Road Pott Row Norfolk Change of use of land for the siting of a mobile home	Grimston
22.03.2021	28.05.2021 Application Permitted	21/00556/F	105 Lynn Road Grimston King's Lynn Norfolk Rear extension to dwelling	Grimston
16.12.2020	29.04.2021 Application Refused	20/02034/F	59 North Beach Heacham King's Lynn Norfolk Second floor extension and alterations to dwelling	Heacham
15.02.2021	28.05.2021 Application Permitted	21/00266/F	23 Lords Lane Heacham King's Lynn Norfolk Proposed extensions onto rear of dwelling and erection of porch to front.	Heacham

09.03.2021	28.05.2021 Not Lawful	21/00451/LDP	9 Woodend Road Heacham King's Lynn Norfolk Certificate for a Lawful Devemoplent: the site has always been domestic dwelling, the west/rear elevation has a single brick and single glazed porch joined to a single skin lean-to bathroom and dining room. I wish to replace the single skin rooms and extend and insulate the property.	Heacham
23.03.2021	26.05.2021 Application Permitted	21/00568/F	77 Main Street Hockwold cum Wilton Norfolk IP26 4LJ Single storey rear extension to form a bathroom	Hockwold cum Wilton
22.01.2021	24.05.2021 Application Permitted	21/00199/F	Broadwater Cottage 39A Kirkgate Holme next The Sea Norfolk Variation of Condition 2 of Planning Permission 19/01950/F: New detached garage and alterations to existing house, converting existing attached garage into living space	Holme next the Sea
10.02.2021	28.05.2021 Application Permitted	21/00239/F	Holmbush Thornham Road Holme next The Sea HUNSTANTON Re location of private drive to Holmbush	Holme next the Sea
17.02.2021	11.05.2021 Application Permitted	21/00283/A	80 Cliff Parade Hunstanton Norfolk PE36 6EJ Advertisement application for 2 non-illuminated signs attached to walls	Hunstanton

22.02.2021	06.05.2021 Application Permitted	21/00459/F	8 Alexandra Road Hunstanton Norfolk PE36 5BT Proposed extension and associated works and re-modelling internal/external appearance of bungalow.	Hunstanton
01.03.2021	06.05.2021 Application Permitted	21/00379/F	Homer House 21 Austin Street Hunstanton Norfolk Proposed dormer windows	Hunstanton
15.03.2021	05.05.2021 GPD HH extn - Not Required	21/00684/PAGPD	16 Styleman Road Hunstanton Norfolk PE36 5PW Single storey rear extension which extends beyond the rear wall by 3.5m with a maximum height of 3m and a height of 2.2m to the eaves	Hunstanton
23.04.2021	21.05.2021 Tree Application - No objection	21/00101/TREECA	43 Greevegate Hunstanton Norfolk PE36 6AF Trees in a Conservation Area: Paper Bark Birch (Betula Papyrifera) - annual trim and shape	Hunstanton
13.08.2020	17.05.2021 Application Permitted	20/01204/F	Kudos 22 Norfolk Street King's Lynn Norfolk Extension and Alterations to the roof space area to create additional seating area (Revised Design)	King's Lynn
09.11.2020	07.05.2021 Application Permitted	20/01750/F	8 Russett Close King's Lynn Norfolk PE30 3HB Summerhouse building for treatment room i.e. massage, nail treatments etc. (retrospective)	King's Lynn

10.11.2020	20.05.2021 Application Permitted	20/01763/F	11 Valingers Road King's Lynn Norfolk Variation of condition 3 of Planning Permission 09/01199/F: Change of Use of Dwelling from Multi-Occupancy accomodation to 5 Apartments	King's Lynn
24.12.2020	19.05.2021 DM Approval Req/Grant Prior	20/02103/DM	CORTEVA Dow Chemical Company Ltd Estuary Road King's Lynn Prior Notification: Demolition of buildings / structures and plant / tanks to ground slab level using standard mechanical demolition methods. Plant and tanks have been pre-cleaned and decontaminated by Corteva prior to demolition.	King's Lynn
06.01.2021	19.05.2021 Application Permitted	21/00008/F	Building & Land W of 5 Out South Gates Wisbech Road King's Lynn Norfolk Change of use from four retail units to takeaway including storage areas.	King's Lynn
12.01.2021	20.05.2021 Application Permitted	21/00035/F	Eastgate House Residential Home 17 Littleport Street King's Lynn Norfolk Refurbishment and conversion of existing residential car home with consent for change of use to C3 residential to create 7 new dwelling flats, sub-division of unit 6 of approval 19/01066 CU & 19/01067 LB into two dwellings	King's Lynn

12.01.2021	25.05.2021 Application Permitted	21/00036/LB	Eastgate House 17 Littleport Street King's Lynn Norfolk LISTED BUILDING APPLICATION: Refurbishment and conversion of existing residential car home with consent for change of use to C3 residential to create 7 new dwelling flats, subdivision of unit 6 of approval 19/0166 CU & 19/01067 LB into two dwellings	King's Lynn
22.01.2021	28.04.2021 Application Refused	21/00197/A	43 Lynn Road Gaywood King's Lynn Norfolk Advertisement application to replace the existing hoarding with a 'D-Poster' which will display digital and illuminated LED advertisement displays	King's Lynn
15.02.2021	14.05.2021 Application Permitted	21/00269/F	97 Gayton Road King's Lynn Norfolk PE30 4EW Extensions and alterations	King's Lynn
16.02.2021	27.04.2021 Application Permitted	21/00277/F	Flat 12 Trinity Quay Page Stair Lane King's Lynn Norfolk Remove existing timber window frames, replace with UPVC	King's Lynn

17.02.2021	29.04.2021 Application Permitted	21/00284/LB	2 Purfleet Place King's Lynn Norfolk PE30 1JH The proposed improvements are security measures following a security assessment and are recommended by Parliamentary authorities. The works consist of replacement of kitchen windows, ground floor bathroom window, first floor bathroom windows, and replace back door.	King's Lynn
17.02.2021	21.05.2021 Application Permitted	21/00287/F	27 Daseleys Close King's Lynn Norfolk PE30 3SL Two storey side extension to dwelling	King's Lynn
17.02.2021	30.04.2021 Application Permitted	21/00414/F	12 Extons Place King's Lynn Norfolk PE30 5NP Single Storey Extension, Porch, Detached Sun Room and Dropped Kerb Access	King's Lynn
19.02.2021	30.04.2021 Application Permitted	21/00311/F	6 Extons Road King's Lynn Norfolk PE30 5PG PROPOSED REMOVAL OF THE EXISTING GARAGE ROOF AND REDUCTION IN THE EXTENSION EXTERNAL WALLS AROUND THE BOUNDARY	King's Lynn

02.03.2021	19.05.2021 Application Permitted	21/00544/F	Mars Foods Ltd Hansa Road Hardwick Industrial Estate King's Lynn REMOVAL OF CONDITIONS 4,5,6 AND 7 of Planning Permission 17/02321/F: Erection of waste water treatment plant as a turn-key system including the execution of civil works	King's Lynn
03.03.2021	26.05.2021 Application Permitted	21/00405/F	9 Silver Hill King's Lynn Norfolk PE30 4TL Single Storey front extension	King's Lynn
11.03.2021	06.05.2021 Application Permitted	21/00471/F	2 Peppers Green King's Lynn Norfolk PE30 3DA Single storey extension, garage and alterations to dwelling	King's Lynn
12.03.2021	19.05.2021 Application Permitted	21/00491/F	11 Brancaster Close King's Lynn Norfolk PE30 3EW Extension (Revised Design)	King's Lynn
12.03.2021	06.05.2021 Application Permitted	21/00493/A	Vacant 4 - 5 Campbells Meadow King's Lynn Norfolk Advertisement Application for 2no Digital LED Display. 6000mm(w) x 1920mm(h). Black aluminium case, surface mounted RGB light emitting diodes at 6mm intervals creating three screens of 1000pixels (w) x 320 pixels (h)	King's Lynn
17.03.2021	25.05.2021 Application Permitted	21/00529/F	3 Annes Close King's Lynn Norfolk PE30 3SB 2 storey extension to gable end of house	King's Lynn

24.03.2021	26.05.2021 Prior Approval - Approved	21/00762/PACU3	Seeche Farm Mill Road Wighenall St Germans Norfolk Notification for Prior Approval for change of use of agricultural buildings to two dwellings (Schedule 2, Part 3, Class Q)	King's Lynn
25.03.2021	26.05.2021 Application Permitted	21/00588/F	43 River Lane Gaywood King's Lynn Norfolk Removal of present conservatory and the construction of a single storey extension forming kitchen, utility and sum room	King's Lynn
30.03.2021	18.05.2021 Prior Approval - Approved	21/00802/PACU2	87 St Peters Road West Lynn King's Lynn Norfolk Notification for Prior Approval for change of use of newsagents to residential (Schedule 2, Part 3, Class M)	King's Lynn
06.04.2021	25.05.2021 Prior Approval - Approved	21/00815/PACU1	PB Communication Services 27 Tower Street King's Lynn Norfolk Prior approval for a change of use from Offices (B1) to 4 dwellinghouses (C3)	King's Lynn

08.04.2021	14.05.2021 Application Permitted	19/02217/NMA_1	Alexandra House Dodmans Close King's Lynn Norfolk NON-MATERIAL AMENDMENT of Planning Permission 19/02217/F: Conversion of supported housing accommodation to 7No self- contained flats. Erection of two storey and single storey front extensions. Erection of cycle and refuse/cycling stores. Reconfiguration of parking and servicing facilities	King's Lynn
23.03.2021	27.04.2021 AG Prior Notification NOT REQD -	21/00667/AG	Hadleigh Farm 43 Well Hall Lane Ashwicken KINGS LYNN Agricultural Prior Notification: Extension to general purpose agricultural building	Leziate
11.02.2021	26.05.2021 Application Permitted	21/00360/F	Meadow View School Lane Marham King's Lynn Erection of garden annexe in grounds of existing dwelling (retrospective)	Marham
13.10.2020	14.05.2021 Application Permitted	20/01576/F	Marshland Hall 156 - 158 Smeeth Road Marshland St James Norfolk Installation of floodlighting to illuminate the existing 30m x 20m MUGA area	Marshland St James
29.12.2020	07.05.2021 Application Refused	20/02106/O	Rose Villa 314 Smeeth Road Marshland St James Wisbech Outline application for 1no. dwelling	Marshland St James

03.03.2021	26.05.2021 Application Permitted	21/00410/F	Homefield House 19 Smeeth Road Marshland St James Norfolk Proposed Extension and alterations including porch, rendering of front elevation and side and rear extensions	Marshland St James
15.03.2021	28.05.2021 Application Permitted	21/00675/F	171 Smeeth Road Marshland St James Wisbech Norfolk REMOVAL OR VARIATION OF CONDITION 1 OF PERMISSION 17/01728/RM: Reserved Matters Application, proposed 3 no. 4-bed new dwellings	Marshland St James
10.03.2021	07.05.2021 Application Permitted	21/00627/F	Bienvenue School Road Middleton King's Lynn Proposed Single storey Extension to rear and Internal Alterations	Middleton
10.05.2021	27.05.2021 Application not required	21/00901/LB	Creake Abbey Burnham Road North Creake Norfolk Change of Use of Grass Field Used for Overflow Parking to Planning Use Class E for the display and sale of plants. 2m black palisade fence and a small shed.	North Creake
09.12.2020	26.05.2021 Application Permitted	20/01969/F	1 Cedar Grove North Runcton King's Lynn Norfolk Extensions and alterations to dwelling with detached garage and workshop with landscape works incidental to the development	North Runcton

24.02.2021	11.05.2021 Application Permitted	21/00347/F	Fairholme 54 Common Lane North Runcton King's Lynn In fill front elevation recess and project with a single storey flat roof porch and cloak room	North Runcton
06.04.2021	18.05.2021 GPD HH extn - Not Required	21/00709/PAGPD	26 West Winch Road West Winch King's Lynn Norfolk Single storey rear extension which extends beyond the rear wall by 5 metres with a maximum height of 3.35 metres and a height of 2.8 metres to the eaves	North Runcton
22.02.2021	30.04.2021 Application Permitted	21/00331/F	Avoca 1 Frederick Close North Wootton King's Lynn Demolition of existing garage. Proposed single storey side extension, and front porch extension	North Wootton
22.02.2021	06.05.2021 Application Permitted	21/00448/F	2 Beckett Close North Wootton King's Lynn Norfolk Construction of first floor side extension.	North Wootton
06.04.2021	01.06.2021 Application Permitted	21/00656/F	5 Hayfield Road North Wootton King's Lynn Norfolk REMOVAL OR VARIATION OF CONDITION 2 OF PLANNING PERMISSION 20/02081/F: Extensions and alterations to dwelling	North Wootton
15.02.2021	24.05.2021 Application Permitted	21/00267/F	40 Old Hunstanton Road Old Hunstanton Hunstanton Norfolk Single storey extension and alterations	Old Hunstanton

09.03.2021	24.05.2021 Application Permitted	21/00616/F	4A Wodehouse Road Old Hunstanton Norfolk 2 Storey extension to the side and rear of the property.	Old Hunstanton
10.03.2021	27.05.2021 Application Permitted	21/00618/F	Strathcona 30 Old Hunstanton Road Old Hunstanton Norfolk New dwelling further to demolition of existing dwelling	Old Hunstanton
17.02.2021	04.05.2021 Application Permitted	21/00285/F	Aqueduct Cottage 35 Well Creek Road Outwell Norfolk There will be a first floor extension over the existing detached garage and a balcony extension to the side of it.	Outwell
18.02.2021	05.05.2021 Application Permitted	21/00302/F	Land At Hall Road Outwell Wisbech Norfolk PROPOSED BARN CONVERSION TO DOMESTIC INCLUDING NEW LINK.	Outwell
04.03.2021	19.05.2021 Application Permitted	21/00421/F	39 Pentney Lakes Common Road Pentney Norfolk Variation of Condition 2 of Planning Permission 20/01253/F: Proposed log cabin style holiday home	Pentney
10.03.2021	25.05.2021 Application Permitted	21/00463/F	Ghillie Lodge 24 Pentney Lakes Common Road Pentney Change of use of boathouse to annex	Pentney
11.03.2021	07.05.2021 Application Permitted	21/00478/F	15 Thorpland Lane Runcton Holme King's Lynn Norfolk rear extension, front porch and rendering existing external walls	Runcton Holme

18.02.2021	19.05.2021 Application Permitted	21/00425/F	Myosotis Bexwell Road Bexwell DOWNHAM MARKET Replacement of single dwelling with pair of semi detached dwellings	Ryston
03.02.2021	19.05.2021 Application Permitted	21/00295/F	Whin Close Poultry Farm Docking Road Sedgeford Norfolk Erection of farm worker's dwelling and garage	Sedgeford
25.03.2021	10.05.2021 Tree Application - No objection	21/00082/TREECA	Jacobs Folly Heacham Road Sedgeford Hunstanton T1 Ash Tree - Removal of dead wood, overall crown reduction to reduce mechanical stress on the tree, regulate size and ensure no branches obstruct the public footpath within a conservation area	Sedgeford
29.04.2021	28.05.2021 AG Prior Notification - NOT REQD	21/00847/AG	Glovers Farm Fring Road Sedgeford Norfolk Agricultural Prior Notification: Erection of new agricultural barn	Sedgeford

17.03.2021	12.05.2021 TPO Partial	21/00028/TPO	Rafters 4 Ryes Close Shouldham King's Lynn 2/TPO/00360: T1 Birch T6 - Fell because height and bulk causing excessive shading and its proximity to domestic buildings and surface drainage. To be replaced with Aesculus x neglecta 'Erythroblastos'. T2 Birch T7 -). Fell because height and bulk causing excessive shading and its proximity to domestic buildings and surface drainage. To be replaced with Acer pseudoplatanus 'Brilliantissimum'	Shouldham
25.02.2021	29.04.2021 Application Permitted	21/00357/CU	Mill Farm House Mill Road Shouldham Thorpe Norfolk Retrospective Change of Use of existing agricultural barn to commercial barn for the stabling of horses at ground floor level and storage at first floor level.	Shouldham Thorpe
08.02.2021	07.05.2021 TPO Served	21/00033/TREECA	The Old Hall 4 Lynn Road Snettisham KINGS LYNN Tree in a Conservation Area: Holm Oak - to fell	Snettisham
10.02.2021	28.04.2021 Application Permitted	21/00240/F	18 The Beach Shepherds Port Snettisham Norfolk To form an enclosed porch to the side of existing bungalow	Snettisham

24.03.2021	25.05.2021 Application Permitted	21/00577/F	17 Goosander Close Snettisham King's Lynn Norfolk Single storey extension to rear, extend porch and internal alterations	Snettisham
29.03.2021	05.05.2021 Application Permitted	21/00601/F	5 - 11 Fring Road Snettisham King's Lynn Norfolk Retention of Domestic biomass boiler cabin, plant shed and piping serving nos. 5-11 Fring Road	Snettisham
26.02.2021	29.04.2021 Application Permitted	21/00363/F	The May Tree 9 Meadow Rise South Creake Fakenham Proposed loft conversion & alterations	South Creake
01.03.2021	27.05.2021 Application Permitted	21/00385/F	The Old Stables 101 Burnham Road South Creake Norfolk 0Rear extension	South Creake
27.08.2020	28.05.2021 Application Permitted	20/01378/F	The Oaks 72 Castle Rising Road South Wootton King's Lynn To pipe a section of dyke at the bottom of the garden (retrospective)	South Wootton
04.01.2021	28.04.2021 Application Permitted	21/00043/F	Carmel 5 Ryalla Drift South Wootton King's Lynn Erection of a 5 pen boarding cattery with double size pens and reception area.	South Wootton
29.01.2021	19.05.2021 Application Permitted	21/00148/F	The Limes 8 Church Lane South Wootton Norfolk Variation of condition 2 of planning permission 20/01470/F to change plans	South Wootton

18.02.2021	27.05.2021 Application Permitted	21/00307/F	5 Oak Avenue South Wootton King's Lynn Norfolk PROPOSED REAR FLAT ROOFED GARDEN ROOM EXTENSION WITH LANTERN AND DOUBLE GARAGE EXTENSION TO FRONT	South Wootton
26.02.2021	13.05.2021 Application Permitted	21/00368/F	15 Coniston Close South Wootton King's Lynn Norfolk 2 storey side extension and single storey rear extension	South Wootton
03.03.2021	20.05.2021 Application Permitted	21/00412/F	32 St Augustines Way South Wootton King's Lynn Norfolk Proposed first floor side extension and single storey rear extension	South Wootton
08.03.2021	07.05.2021 Application Permitted	21/00436/F	3 Sycamore Close South Wootton King's Lynn Norfolk Side extension to dwelling	South Wootton
26.03.2021	21.05.2021 Application Permitted	21/00593/F	Hildaville 9 Green Lane South Wootton King's Lynn Front extension and alterations to dwelling	South Wootton
18.03.2021	25.05.2021 Application Permitted	21/00542/F	73A Feltwell Road Southery Downham Market Norfolk Demolition of single story bedroom. Erection of a double story extension.	Southery
04.02.2021	26.05.2021 Application Permitted	21/00194/F	10 Oxborough Road Stoke Ferry King's Lynn Norfolk Demolition of rear porch, erection of single-storey rear extension and first-floor side extension.	Stoke Ferry

24.02.2021	06.05.2021 Application Permitted	21/00464/F	Swift Cottage 2 Lime Kiln Lane Stoke Ferry Norfolk Repair and upgrading insulation of existing outbuilding to provide home study and crafts studio.	Stoke Ferry
26.02.2021	07.05.2021 Application Permitted	21/00367/F	Brecklands 13 Furlong Road Stoke Ferry King's Lynn Front single storey extension	Stoke Ferry
11.03.2021	07.05.2021 Application Permitted	21/00476/F	Land South of 2 And 3 Lark Road Stoke Ferry Norfolk Variation of Condition 1 of Planning Permission 18/02068/RMM: Residential development	Stoke Ferry
10.09.2020	19.05.2021 Application Permitted	20/01426/F	Land Adjacent To 122 The Drove Barroway Drove Norfolk Construction of dwelling	Stow Bardolph
14.01.2021	20.05.2021 Application Refused	21/00153/F	McLatchie Farm 195 The Drove Barroway Drove Norfolk Two x 4 bed dwellings and garages - Plots 1 + 2	Stow Bardolph
02.03.2021	14.05.2021 Application Permitted	21/00536/F	West Head Farm West Head Road Stow Bridge KINGS LYNN Change of use of agricultural land and extension of building in connection with the storage and distribution of natural stone and products.	Stow Bardolph
23.02.2021	24.05.2021 Application Permitted	21/00339/F	Loxwood 2 Tattersett Road Syderstone King's Lynn Construction of 2 dwelling houses following demolition of existing bungalow	Syderstone

25.02.2021	06.05.2021 Would be Lawful	21/00485/LDP	Thurnby House The Street Syderstone Norfolk Application for a Lawful Development Certificate for proposed installation of woodburner located in the rear sitting room with flue terminating 600mm above eaves line of adjoining 2-storey element	Syderstone
25.02.2021	29.04.2021 Application Permitted	21/00486/LB	Thurnby House The Street Syderstone Norfolk Installation of woodburner in rear sitting room, installation of secondary glazing units in listed part of property, raising of the bathroom ceiling to allow for a shower unit to be installed, with bathroom layout being reconfigured to suit	Syderstone
08.03.2021	27.05.2021 Application Permitted	21/00438/F	21 Tattersett Road Syderstone King's Lynn Norfolk Extension to dwelling	Syderstone
09.03.2021	25.05.2021 Application Permitted	21/00615/F	Thurnby House The Street Syderstone Norfolk Proposed first floor extension to north of recently purchased portion of neighbouring property (formerly Tasmin Cottage).	Syderstone

09.03.2021	27.05.2021 Application Permitted	21/00617/LB	Thurnby House The Street Syderstone Norfolk Listed Building Application: Proposed first floor extension to north of recently purchased portion of neighbouring property (formerly Tasmin Cottage).	Syderstone
12.03.2021	28.05.2021 Application Permitted	21/00487/F	Dove Cottage 4 Docking Road Syderstone KINGS LYNN Rear single storey extension, Side 2 storey extension, porch and new Cartshed	Syderstone
15.03.2021	10.05.2021 Application Permitted	21/00502/F	1 Broadlands The Street Syderstone King's Lynn Proposed Garage Construction	Syderstone
19.01.2021	06.05.2021 Application Permitted	21/00088/F	Seagull Cottages Long Road Terrington St Clement King's Lynn Two Storey Side Extension to create Kitchen Dining Room and 1st Floor Master Bedroom	Terrington St Clement
22.01.2021	28.04.2021 Application Permitted	21/00113/F	Tower House 15 Northgate Way Terrington St Clement King's Lynn Conversion of Workshop to habitable accommodation with minor associated alterations.	Terrington St Clement
22.01.2021	30.04.2021 Application Permitted	21/00114/LB	Tower House 15 Northgate Way Terrington St Clement King's Lynn LISTED BUILDING APPLICATION: Conversion of Workshop to habitable accommodation with minor associated alterations.	Terrington St Clement

15.02.2021	11.05.2021 Application Permitted	21/00371/F	88 New Roman Bank Terrington St Clement Norfolk PE34 4HN Retention of and continued use of land as extended garden and construction of a garage and a playroom	Terrington St Clement
04.03.2021	28.05.2021 Application Permitted	21/00417/F	Hytten 21 Bullock Road Terrington St Clement King's Lynn Side extension and new roof structure.	Terrington St Clement
15.03.2021	11.05.2021 Application Permitted	21/00504/F	75 Northgate Way Terrington St Clement King's Lynn Norfolk Proposed single storey side extension and oak framed porch	Terrington St Clement
17.03.2021	20.05.2021 GPD HH extn - Refused	21/00724/PAGPD	7 Popes Lane Terrington St Clement King's Lynn Norfolk Single storey rear extension which extends beyond the rear wall by 5.5 metres with a maximum height of 3.8 metres and a height of 2.6 metres to the eaves	Terrington St Clement
06.04.2021	01.06.2021 Application Permitted	21/00651/F	Studley 46 Lynn Road Terrington St Clement King's Lynn VARIATION OF CONDITION 2 of Planning Permission 20/00398/F: to amend drawings	Terrington St Clement
26.04.2021	01.06.2021 AG Notification NOT REQD Prior -	21/00822/AG	Sharpes Bank Farm New Common Marsh Terrington St Clement Norfolk Agricultural Prior Notification: Lean-to on existing Grain Store	Terrington St Clement

01.03.2021	06.05.2021 Application Permitted	21/00523/F	Heron Cottage The Green Thornham Hunstanton Proposed Extensions and Alterations.	Thornham
09.03.2021	30.04.2021 Application Permitted	21/00452/F	12 Castle Cottages Thornham Hunstanton Norfolk Proposed two story rear extension.	Thornham
22.03.2021	30.04.2021 TPO Work Approved	21/00031/TPO	6 Pastures Court Thornham KINGS LYNN Norfolk 2/TPO/00590: Work as outlined in tree survey	Thornham
22.03.2021	14.05.2021 Application Permitted	21/00554/F	Stoncroft Ploughmans Piece Thornham HUNSTANTON Construction of Cartshed to the front of the property	Thornham
14.01.2021	05.05.2021 Application Permitted	21/00069/F	The Laurels Lynn Road Tilney All Saints King's Lynn To construct two stables and two sheds as tack room and feed room with a 150mm concrete base and the use of the land for the keeping of horses	Tilney St Lawrence
25.01.2021	24.05.2021 Application Permitted	21/00123/F	Landor Chapel Road Tilney Fen End Tilney St Lawrence Proposed Replacement dwelling	Tilney St Lawrence

26.01.2021	07.05.2021 Application Permitted	21/00126/F	Salgate Barn Islington Road Tilney All Saints KINGS LYNN Proposed demolition of existing agricultural barn (which has approval for 5no. residential dwellings 19/01098/PACU3) to erect 3no. residential dwellings. Proposed new access and re-designate area of concrete hardstanding to storage building yard.	Tilney St Lawrence
09.02.2021	30.04.2021 Application Permitted	21/00229/F	Land East of Melmont Chapel Road Tilney Fen End Tilney St Lawrence REMOVAL OR VARIATION OF CONDITIONS 1 AND 3 OF PERMISSION 15/00993/RM: Reserved Matters Application for proposed dwelling	Tilney St Lawrence
27.10.2020	29.04.2021 Application Permitted	20/01747/F	Clovelly 48 St Peters Road Upwell Wisbech Erect steps and landing/mooring stage	Upwell
01.02.2021	04.05.2021 Application Permitted	21/00163/F	Russets Mudds Drove Three Holes Norfolk Construction of new stable block and creation of new Equestrian Menage with 1.2m fence.	Upwell
05.02.2021	25.05.2021 Application Permitted	21/00209/O	Keema 19 Dovecote Road Upwell Wisbech OUTLINE SOME MATTERS RESERVED: Residential development - one dwelling	Upwell

05.02.2021	25.05.2021 Application Permitted	21/00210/O	Keema 19 Dovecote Road Upwell Wisbech Residential development - one dwelling	Upwell
17.02.2021	07.05.2021 Application Permitted	21/00293/F	Orchard View 7 Baptist Road Upwell Wisbech Removal of existing garaging, and replacement with larger garage of brick construction (retrospective)	Upwell
26.02.2021	13.05.2021 Application Permitted	21/00509/F	97 School Road Upwell Wisbech Norfolk To add landing stage to one already there.	Upwell
03.03.2021	20.05.2021 Application Permitted	21/00552/F	Willow Farm Cock Fen Road Lakes End WISBECH VARIATION OF CONDITION 2 of Planning Permission 16/01990/F: Proposed barn conversion to dwelling	Upwell
02.02.2021	27.04.2021 Application Refused	21/00275/F	Highway Cottage Pyecroft Lane Walpole St Peter Wisbech 2 Storey rear extension to form family living area and kitchen with 3 bedrooms and bath.	Walpole
08.03.2021	30.04.2021 Application Permitted	21/00435/F	Camelia Church Road Walpole St Peter Norfolk 2 Storey rear extension with change of external finishes to existing and grey windows	Walpole
23.03.2021	13.05.2021 Application Permitted	21/00573/F	Cotswold Way Kirk Road Walpole St Andrew Wisbech Replacement front porch additional bay window and conversion of garage to study.	Walpole

27.01.2021	04.05.2021 Application Permitted	21/00131/F	Lion House Low Road Walpole Cross Keys King's Lynn Extensions and alterations (revised design) to dwelling and retention of 2.6m fence	Walpole Cross Keys
01.03.2021	18.05.2021 Application Permitted	21/00378/F	Land S of Anatevka Market Lane Walpole St Andrew Norfolk Retrospective Planning Application for a wildlife pond.	Walpole Cross Keys
20.01.2021	30.04.2021 Application Permitted	21/00183/F	The Stables Wheatley Bank Walsoken Norfolk Variation of conditions 2 and 3 for planning permission 18/00270/F to change drawing	Walsoken
26.02.2021	25.05.2021 Application Permitted	21/00362/F	Oakwood 2 Sparrowgate Road Walsoken Wisbech Proposed Extension and Alterations to existing Building to attach existing garage and form Orangery to rear.	Walsoken
01.03.2021	12.05.2021 Application Refused	21/00377/F	Rosalie Farm Lynn Road Walsoken Norfolk Proposed Conversion and extension of silos to form dwelling	Walsoken
16.03.2021	24.05.2021 GPD HH extn - Not Required	21/00707/PAGPD	Sibley Field Farm Biggs Road Walsoken WISBECH Single storey rear extension which extends beyond the rear wall by 6m with a maximum height of 3.9m and a height of 3m to the eaves. Erection of porch (PD)	Walsoken

19.02.2021	24.05.2021 Application Permitted	21/00313/F	Brambles 59 Mill Road Watlington King's Lynn Single storey rear extension to dwelling	Watlington
02.03.2021	07.05.2021 Application Permitted	21/00399/F	Whinacres 75 Downham Road Watlington King's Lynn PROPOSED SINGLE STOREY SIDE EXTENSION WITH FLAT ROOF AND GLAZED LANTERN	Watlington
12.04.2021	12.05.2021 Non-determined Invalid now returned	21/00699/F	20 Rowan Close Watlington Norfolk Application Reference Number: 21/00037/F Date of Decision: 16/03/2021 Condition Number(s): 3 Conditions(s) Removal: Drainage information provided to meet the condition Removed	Watlington
08.12.2020	29.04.2021 Application Permitted	20/01960/LB	Vicarage House Church Road Wereham King's Lynn Proposed Cart Shed/Store including changes to historic wall and new front door	Wereham
09.12.2020	29.04.2021 Application Permitted	20/01967/F	Vicarage House Church Road Wereham King's Lynn Proposed cart shed/store including changes to historic wall and new front door	Wereham

03.03.2021	14.05.2021 Would be Lawful	21/00408/LDP	Kiem School Lane Wereham King's Lynn Certificate of Lawful Development: Erection of 3m x 2.5m wooden shed in rear garden.	Wereham
29.03.2021	20.05.2021 Application Permitted	19/02100/NMA_1	Poachers Retreat Hilgay Road West Dereham King's Lynn NON MATERIAL AMENDMENT to Planning Permission 19/02100/F: Extensions and alterations to dwelling and creating of access	West Dereham
26.10.2020	11.05.2021 Application Permitted	20/01654/F	Land To South of The Poplars Lynn Road Walton Highway Norfolk Variation of condition 1 of planning permission 18/01421/RMM to vary the approved drawings to take into account amendments to the affordable housing as requested by the RSL.	West Walton
18.03.2021	21.05.2021 Application Permitted	21/00540/F	Knighton Lodge 207 Salts Road West Walton Norfolk VARIATION OF CONDITION 2 of Planning Permission 19/00610/F: to change drawings	West Walton
19.03.2021	20.05.2021 Would be Lawful	21/00550/LDP	19 St Pauls Road North Walton Highway Norfolk PE14 7DN Lawful Development Certificate: Siting of mobile home/lodge within the curtilage of the dwellinghouse	West Walton

09.04.2021	24.05.2021 GPD HH extn - Not Required	21/00803/PAGPD	Orchard Edge 211 Salts Road West Walton Norfolk Single storey rear extension which extends beyond the rear wall by 5 metres with a maximum height of 3.6 metres and a height of 2.5 metres to the eaves	West Walton
23.02.2021	30.04.2021 Application Permitted	21/00352/F	Land To The Rear of The Winch 70 Main Road West Winch REMOVAL OR VARIATION OF CONDITION 11 OF PLANNING PERMISSION 18/00157/F: Variation of condition 2 of planning permission 15/01053/FM	West Winch
18.03.2021	12.05.2021 Application Permitted	21/00732/F	The Cedars 3 Long Lane West Winch King's Lynn Single storey rear Extension	West Winch
05.02.2021	12.05.2021 Application Permitted	21/00332/F	St Marys Church Church Road Wiggenhall St Mary The Virgin Norfolk To install a 6.0m pole with 3no. bat boxes in the northwest corner of the churchyard	Wiggenhall St Germans
01.03.2021	26.05.2021 Application Permitted	21/00389/F	61 Sluice Road Wiggenhall St Germans King's Lynn Norfolk Two storey rear extension to dwelling	Wiggenhall St Germans

17.03.2021	30.04.2021 Tree Application - No objection	21/00049/TREECA	Poppy Cottage 30 Church Road Wimbotsham King's Lynn T1 Laurel - Reduce height to 1.8 metres and overhang on Church Road. T2 Bullace (wild plum) - Reduce height to 1.8 metres and away from building. T3 Crataegus - Reduce height to 1.8 metres within a conservation area	Wimbotsham
03.02.2021	14.05.2021 Application Permitted	21/00185/O	Agricultural Building S of Oak Farm Chequers Road Wretton Norfolk Outline Application: Demolition of existing agricultural building and 2no. residential detached dwellings with detached single garages.	Wretton
26.02.2021	07.05.2021 Application Refused	21/00508/CU	Ashcroft Chequers Road Wretton King's Lynn Proposed change of use of agricultural land to domestic garden	Wretton